

Adair Electric Company Dry Storage Addition

NEIGHBORHOOD INFORMATIONAL MEETING

7/1/2025, 5:00-6:00pm

Overview

- Introductions
- About our Project
- The Application Process
- Exhibits:
 - Site Plan
 - Landscape Plan
 - Building Elevation
 - Photometric Plan
- Traffic Impacts
- Q&A

Introduction

Owner

- *Adair Electric Company*

Consultant

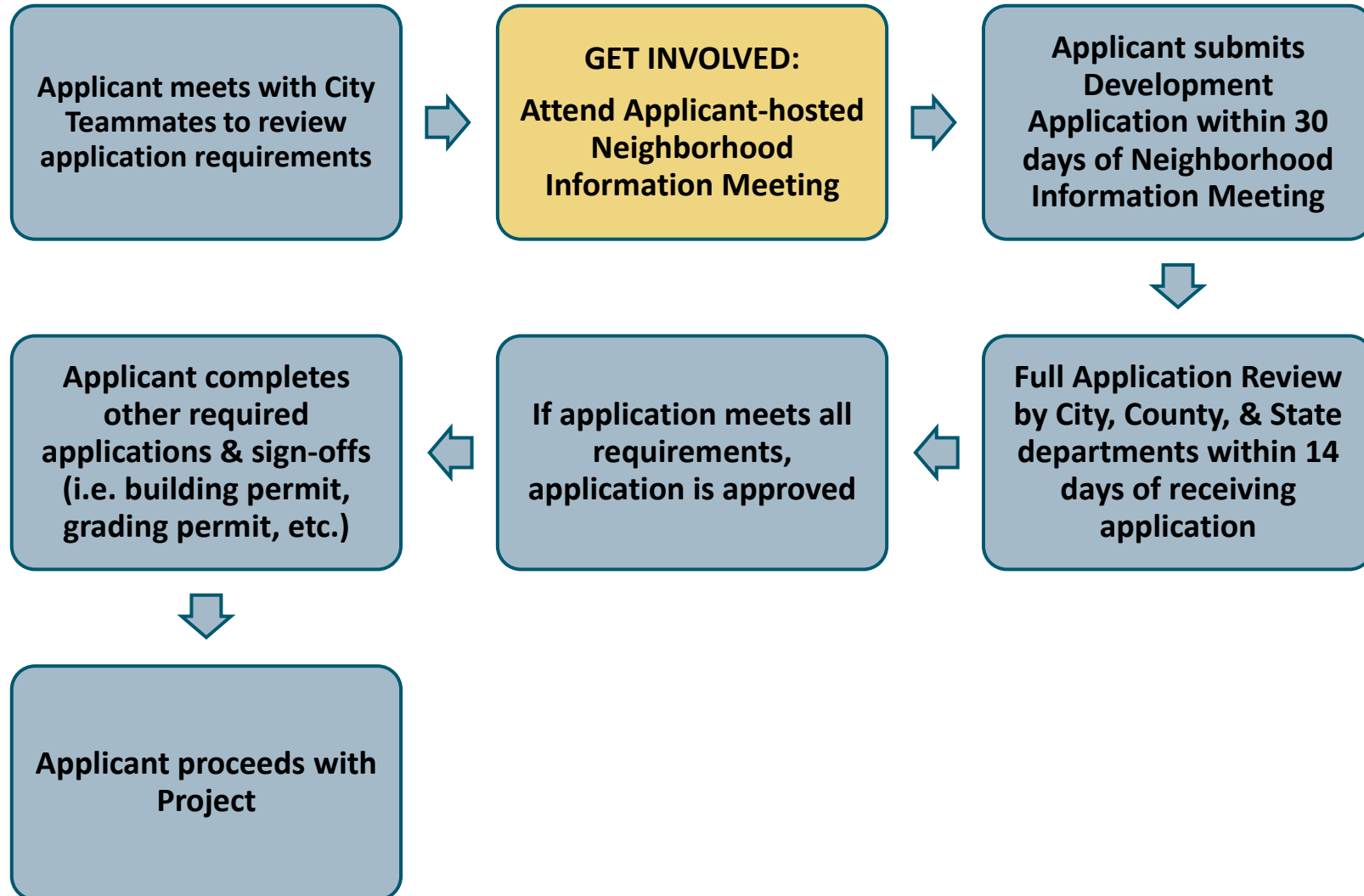
- *WSE Massey Engineering & Surveying (Civil Engineer)*
- *Armon Architecture (Architect)*
- *Ed Lunn Construction (Builder)*

About our Project

Adair is proposing a change of use from a house to dry storage building.

The home will be demolished to make room for a 40'x39' addition onto the current dry storage building.

The Application Process



Site Plan

39'x40' building addition for dry storage.

House will be demolished.

Current driveway will be used.



2nd Ave SE

2nd Ave SE

Landscape Plan

Required Landscape area is 8%.

Provided Landscape area is 30%.



Building Elevation

Consistent with current building exterior.



Photometric Plan

One light for security. *To be provided prior to NIM.*

Traffic Impacts

A TIR waiver has been requested from the city engineer. Preliminary trip generation reveals the proposed use decreases average daily trips.

Q&A

Still have Questions?

Contact the City of Rochester's Community Development Department with any questions about this application type via email communitydevelopment@rochestermn.gov or phone (507-328-2600).