

Trotter Haven Apartments

Three Rivers Community Development - Megan Seger

Location: Rochester Public Library, Level 02 Meeting Room

101 2nd St SE, Rochester, MN 55904

Monday, June 30th, 2025 at 5:30 p.m.

Overview

- Introductions
- About our Project
- The Application Process
- Exhibits:
 - Site Plan
 - Landscape Plan
 - Building Elevation
 - Photometric Plan
- Traffic Impacts
- Q&A



Introduction



Megan Seger, Housing Development Officer
Laura Helle, Housing Development Director
Robert Harris, Housing Development Officer



Emily Timm, Architect
Nikki Schlepp, Landscape Architect
Michael Jost, Civil Engineer

About the Project

Site location:

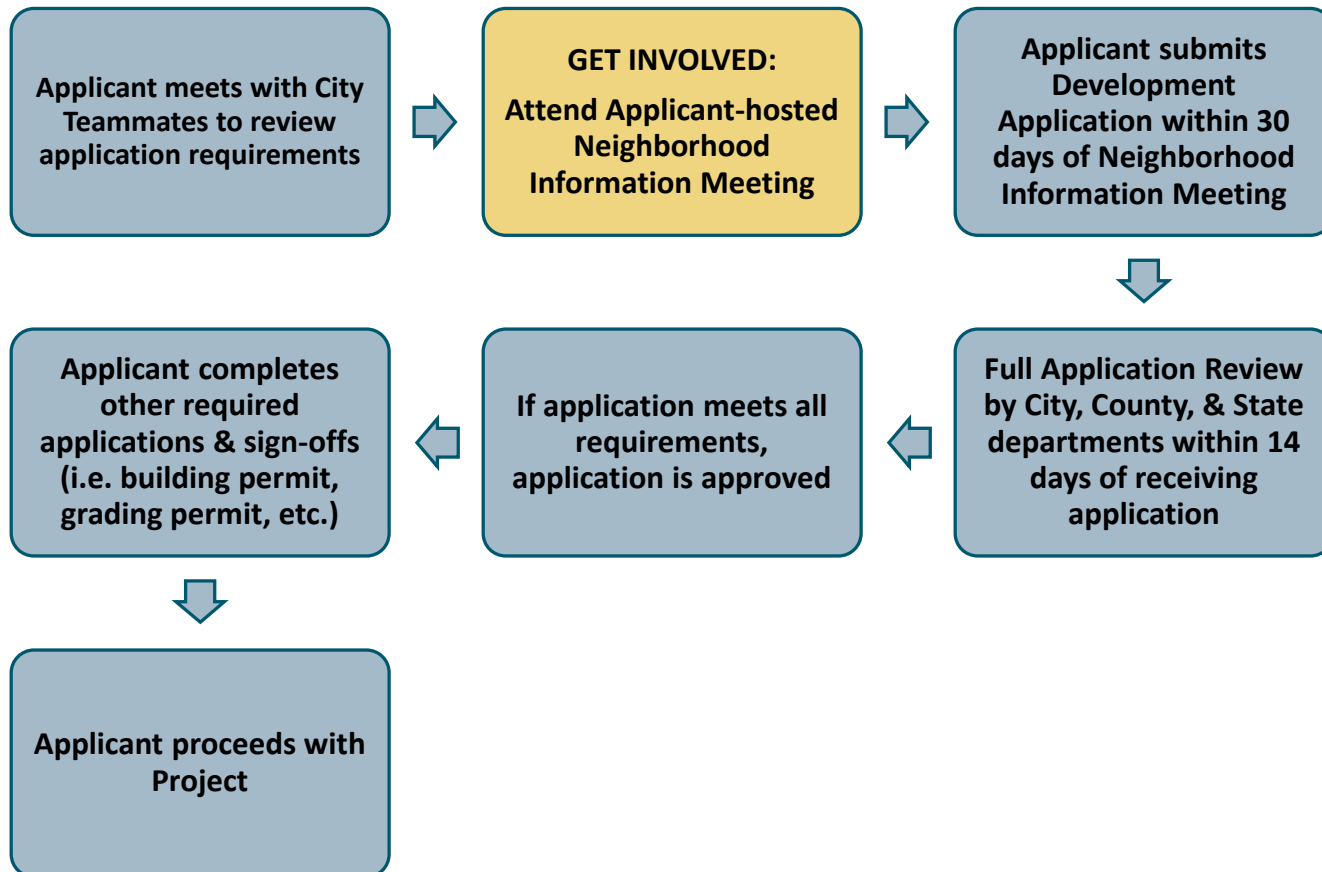
700 Block of 4th Street SE, Rochester, MN 55904

Located along 4th Street SE, the proposed project provides 36 units of affordable housing and support spaces, as well as site improvements.

- The 3-story building is proposed to be constructed of wood framing and trusses, with below grade parking.
- Site improvements include outdoor sitting areas and landscaping.
- The project also seeks compliance with the US Department of Energy Zero Energy Ready Homes Program.
- Strategies to achieve compliance include Split heat Pumps with individual Energy Recover Ventilators (ERVs) for heating and cooling, enhanced insulation, and LED lighting throughout.



The Application Process



Site Plan

Building Height: 38'-0"

Building Length: 240'-0"

Floor Area Ratio (FAR):

- 1.7 FAR Proposed
- 4 FAR Max

Parking:

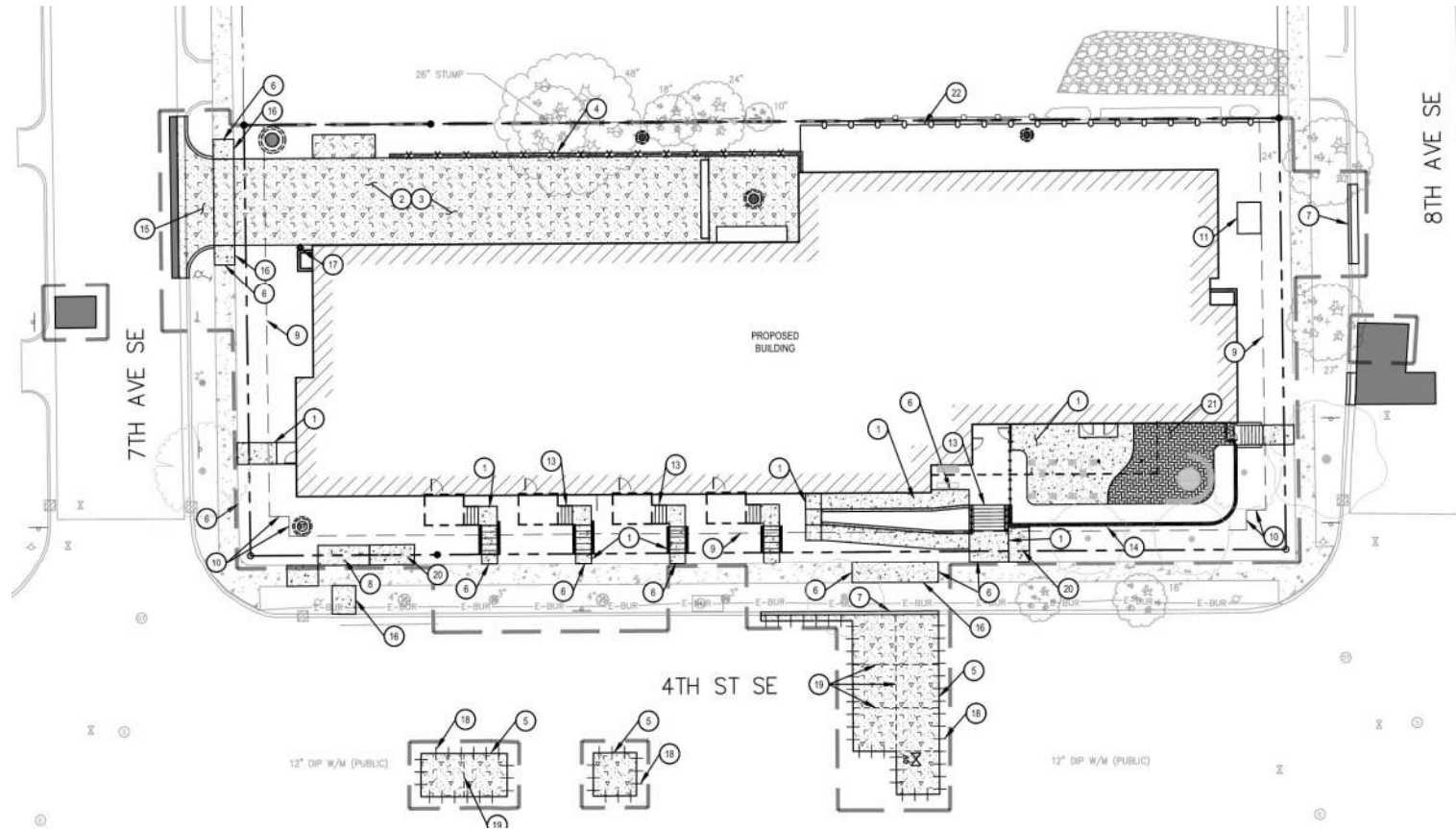
Lower Level Parking:

35 Stalls

(0.97 Parking Ratio for 35 stalls)

Bicycle Parking:

- 10 spaces provided



SHEET KEY NOTES

- | | | |
|--|--|---------------------------------|
| 1 4" CONCRETE WALK, SEE INSET X/C50X | 9 5 FOOT WIDE PUBLIC UTILITY EASEMENT | 17 BOLLARD, SEE DETAIL X/C50X |
| 2 CONCRETE PAVEMENT, SEE INSET X/C50X | 10 10 FOOT SQUARE PUBLIC UTILITY EASEMENT | 18 TIE BAR, SEE DETAIL X/C50X |
| 3 RAMP TO UNDERGROUND PARKING GARAGE, SEE DETAIL X/C50X | 11 TRANSFORMER PAD, SEE ELECTRICAL | 19 DOWEL BAR, SEE DETAIL X/C50X |
| 4 CAST-IN-PLACE RETAINING WALL, SEE STRUCT. | 12 CONCRETE STAIRS, SEE DETAIL X/C50X | 20 BIKE RACK, SEE LANDSCAPE |
| 5 CONCRETE PAVEMENT FOR CITY STREET, MATCH EXISTING SECTION. | 13 STAIRS, SEE ARCH. | 21 PAVERS, SEE LANDSCAPE |
| 6 CONCRETE WALK AT EXISTING CONCRETE OR STOOP, SEE DETAIL X/C50X | 14 SEGMENTAL BLOCK RETAINING WALL, SEE DETAIL X/C50X | 22 FENCE, SEE LANDSCAPE |
| 7 CONCRETE CURB AND GUTTER, SEE CITY STD. PLATE 2-01 | 15 CONCRETE DRIVE APPROACH, SEE CITY STD. PLATE 2-08 | |
| 8 PAD FOR BUS STOP SHELTER. INSTALL BRASCO ECLIPSE ARCHED SHELTER IN ACCORDANCE WITH MANUFACTURERS INSTALLATION INSTRUCTIONS. CITY OF ROCHESTER SHALL PROVIDE THE SHELTER. | 16 CITY SIDEWALK, SEE CITY STD. PLATE 2-10 | |

Landscape Plan

- Required Landscape Area is 5%
- Proposed Landscape Area is ~25%
- Outdoor Amenity area located in SE corner of site.

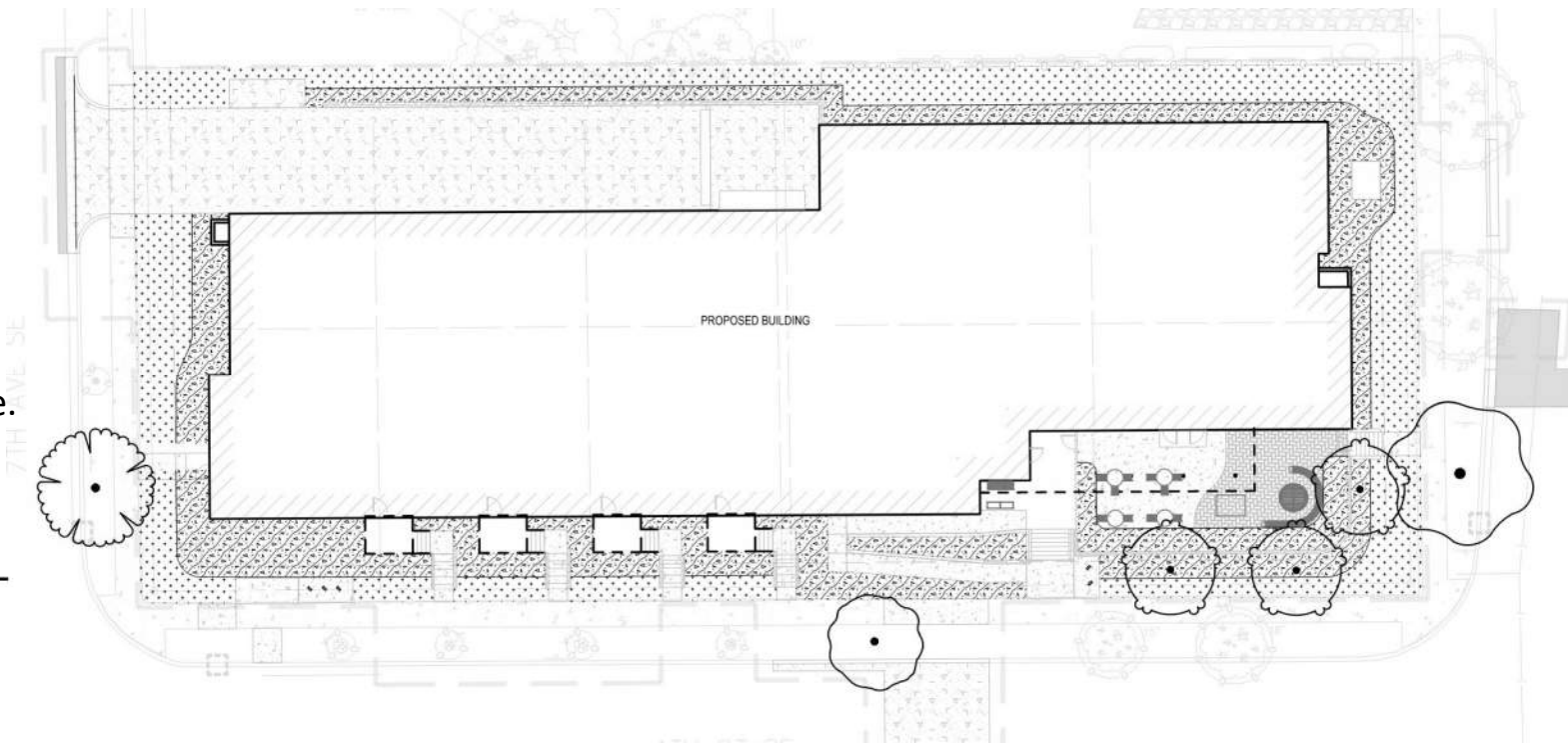
PLANT SCHEDULE

BOULEVARD TREES				
	MA2	1	Maackia amurensis Amur Maackia	B&B 2.5" CAL
	MA	1	Malus x 'Adams' Adams Crabapple	B&B 2" CAL
	AG	1	Ohio Buckeye Aesculus glabra	2-1/2" CAL

ORNAMENTAL TREE				
	AL	1	Amelanchier laevis Allegheny Serviceberry Single Stem	B&B 2" CAL
	CE	3	Cercis canadensis Eastern Redbud Single Stem	B&B 2" CAL

SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT	NOTES
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GROUND COVERS				
	4,024 sf	No-Mow Turf Sod See Spec 32 8223		with 4" Topsoil
	5,055 sf	Shrub and Perennial Areas See 4L501		with 4" Mulch





Outdoor Amenity Space

- The project will also include a fenced in patio area with outdoor seating for building residents.
- The area will be framed by a segmental retaining wall, a decorative fence, and plantings.
- This space is intended to meet the requirements of a pedestrian-oriented space and to help meet a part of the required recreational area.

Building Elevation 2D View

The building design fits well into its surrounding environment with a traditional building exterior with brick, fiber cement panel, and lap siding. It occupies the full block at 240' in length, but variations in the façade and limited building height maintain the existing aesthetics of the surrounding residential neighborhood. Balconies are spaced along the elevation to meet zoning criteria and create an expanded living space in as many units as possible. There is a generous amount of glazing in large windows on every elevation of the building. A large canopy reaches out from the entry toward an adjacent patio providing a partially covered seating space for residents.





Artistic Rendering – including existing boulevard trees



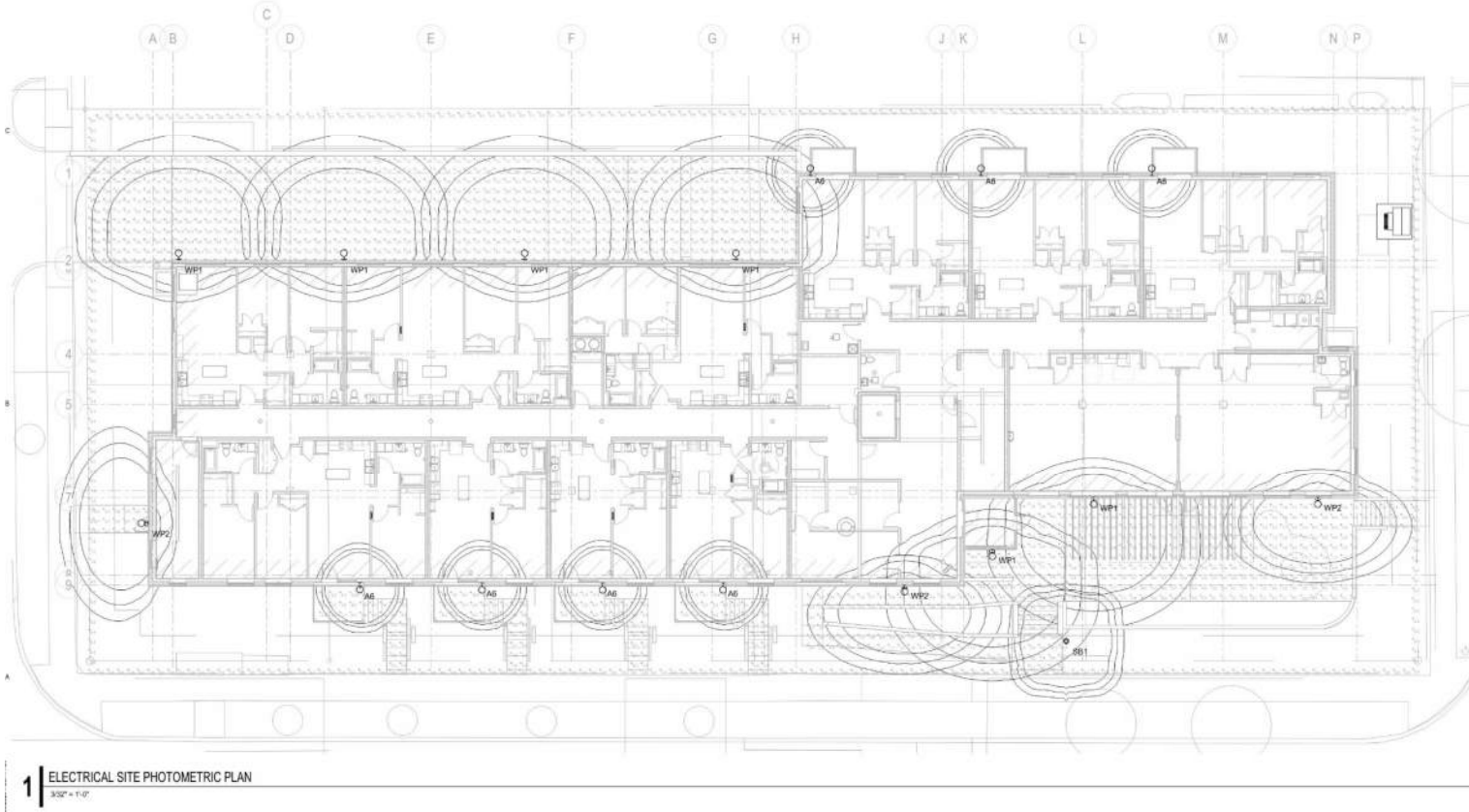
Artistic Rendering – shown without boulevard trees to show building detail, existing trees to remain

Photometric Plan

The site will feature primarily building-mounted LED light fixtures.

Schedule						
Symbol	Label	QTY	Manufacturer	Catalog	Description	
	A6	7	WAC LIGHTING	DS-W52517-F5325-WY1	Surface-mounted Luminaire	Number 1
	R2	0	Lithonia Lighting	LDN6 3026 LOWWR	6W LED, 3000K, 2000LM, WHITE, CR80	Lamp 1813 Output 0.9 Input 22.52
	WP1	8	Lithonia Lighting	WST LED P2 30K VF MVOLT	WST LED, Performance package 2, 3000K, visual comfort forward throw, MVOLT	1 3238 0.9 25
	WP2	3	Lithonia Lighting	WST LED P1 30K VW MVOLT	WST LED, Performance package 1, 3000K, visual comfort wide, MVOLT	1 1348 0.9 12
	SB1	1	Lithonia Lighting	DS38 LED 16C 350-40K SYM	D-SERIES BOLLARD WITH 16-4000K LEDS OPERATED AT 350mA AND SYMMETRIC DISTRIBUTION	1 1674 1 20

Statistics						
Description	Symbol	Avg	Max	Min	MaxMin	AvgMin
Garage Entrance	+	3.4 ft	15.3 ft	0.5 ft	30.5 ft	5.5 ft
Main Entry Ramp and Stairs	+	4.7 ft	20.2 ft	0.2 ft	101.0 ft	23.5 ft
Property Line	+	0.2 ft	7.4 ft	0.0 ft	N/A	N/A
Ramp -	+	2.5 ft	18.3 ft	0.7 ft	36.1 ft	4.0 ft
Ramp - Top	+	2.7 ft	15.2 ft	0.2 ft	76.0 ft	13.5 ft
Unit 102 Patio	+	3.5 ft	34.9 ft	0.0 ft	N/A	N/A
Unit 104 Patio	+	2.8 ft	32.0 ft	0.0 ft	N/A	N/A
Unit 106 Patio	+	2.8 ft	32.0 ft	0.0 ft	N/A	N/A
Unit 107 Patio	+	2.7 ft	31.8 ft	0.0 ft	N/A	N/A
West Rear	+	5.8 ft	9.0 ft	2.4 ft	3.8 ft	2.4 ft
Catch Zone #13	+	2.5 ft	17.9 ft	0.1 ft	179.0 ft	25.0 ft



Traffic Impacts

Traffic Impact Study is not required for this project because the impact is below the threshold to require further study.

Question & Answers

Still have Questions?

Contact the City of Rochester's Community Development Department with any questions about this application type via email communitydevelopment@rochestermn.gov or phone (507-328-2600).