

CHASE BANK – Scott Rd and Commerce Dr NWC 2480 Scott Rd NW

The Architects Partnership, Ltd.

July 15th, 2025

CLIENT



ARCHITECT



CIVIL ENGINEER



Overview

- Introduction
- About our Project
- The Application Process
- Exhibits:
 - Site Plan
 - Landscape Plan
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- Q&A

Introduction

JPMorgan Chase Bank, is looking to construct a ground up retail banking center. Programming includes a walk up teller service and automated drive through services, with approximately 8 to 9 staff members.

The branch will operate Monday to Friday from 9 AM to 6PM and Saturday from 9 AM to 2PM. The proposed drive-up ATM will operate 24hrs.

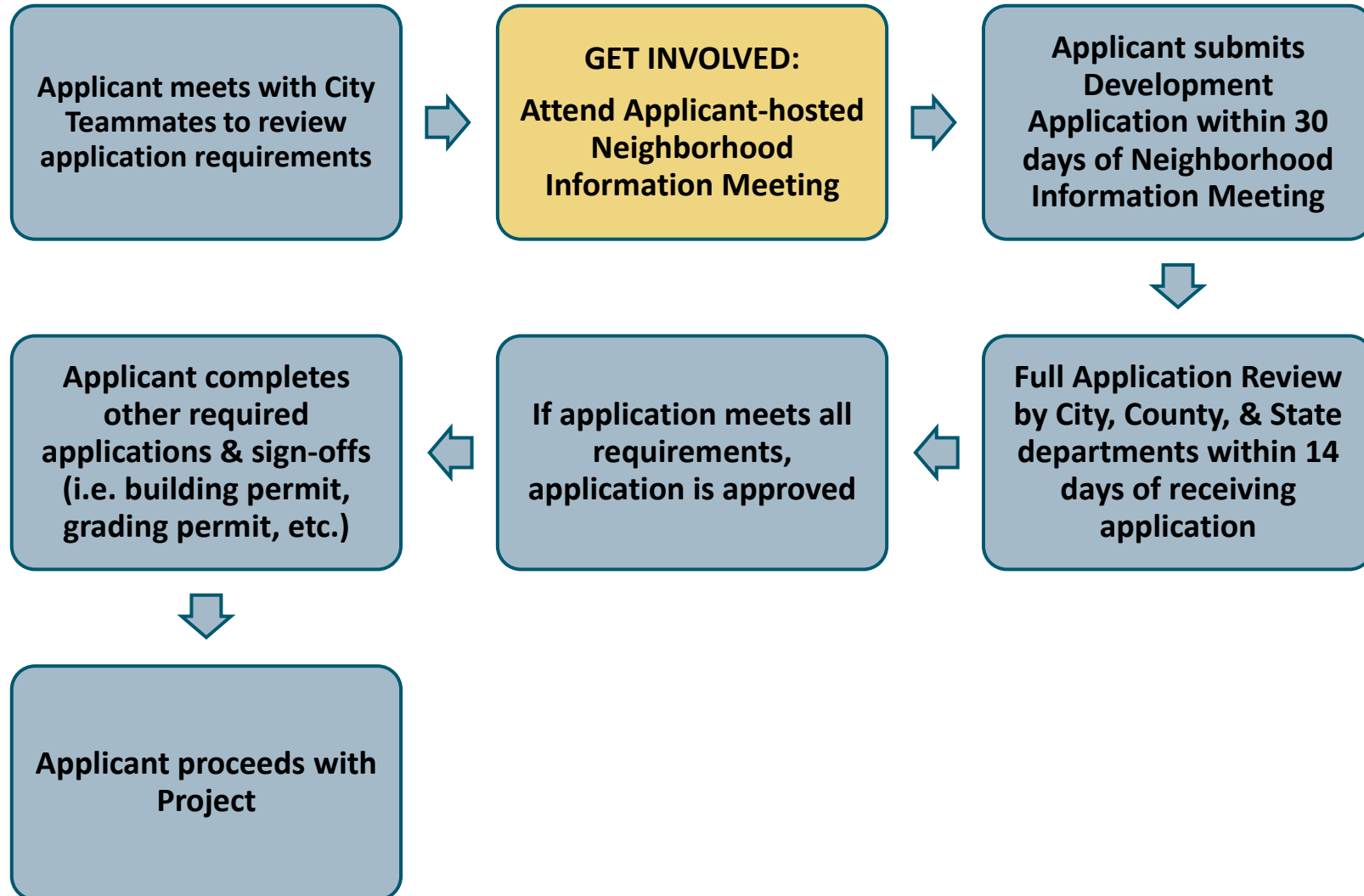


About our Project

The intent of this project is to construct a free standing banking center with a drive through ATM lane, including a by-pass lane within the 17 parking stalls are proposed for JPMC development to serve Chase customers and employees, however, parking will be shared with the “Cub Foods” development. As part of the development of this site, we are looking to contribute to the goal of improving the appearance and function of the retail area shopping center. The process of engaging the neighborhood and community through this project will help us to create a distinctive branch that builds on the strengths of its culturally diverse businesses and trade areas.

We are proposing a one-story building that features architectural and landscaping design that will be pedestrian friendly. Bike parking will be incorporated into the design as well.

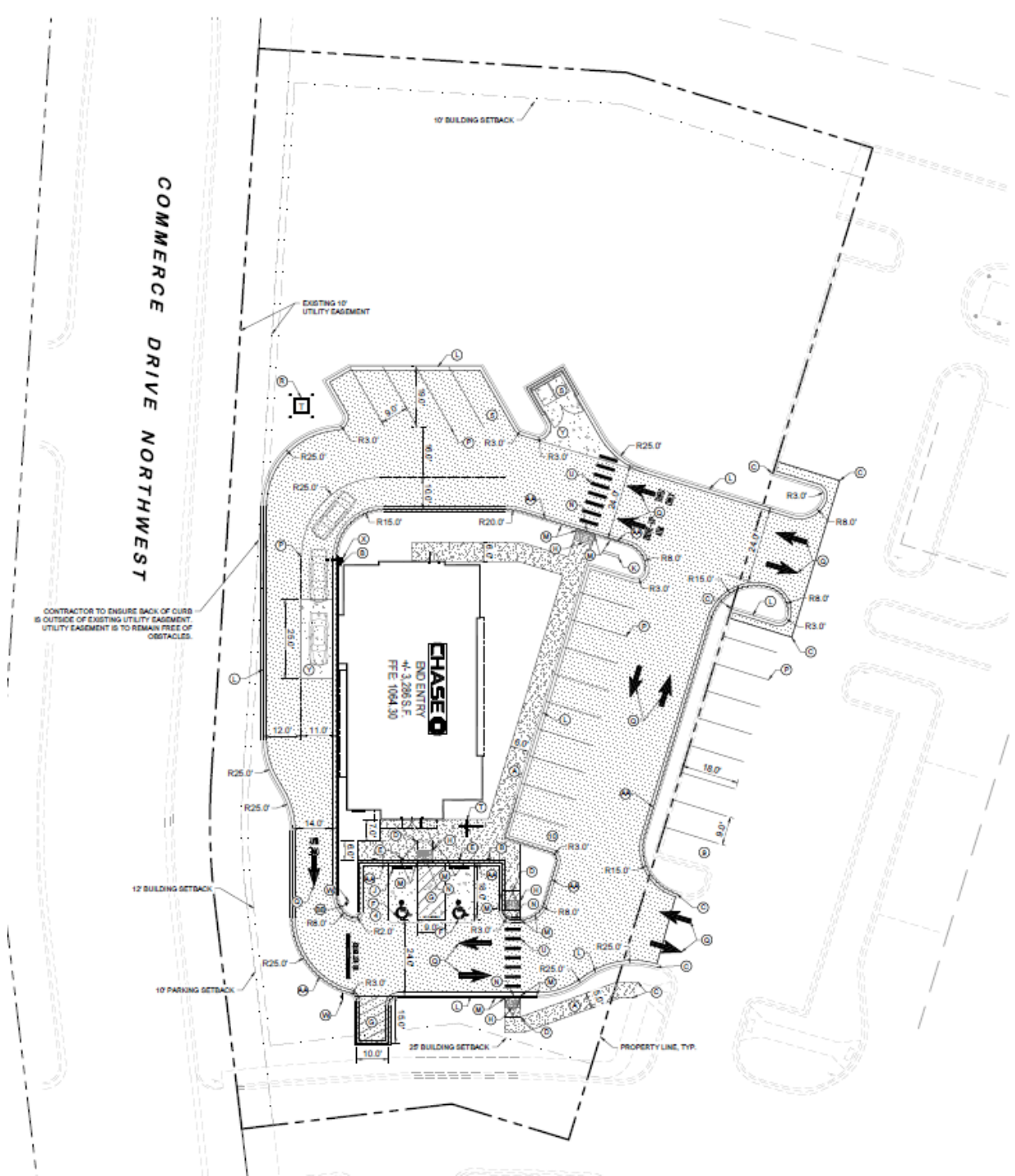
The Application Process



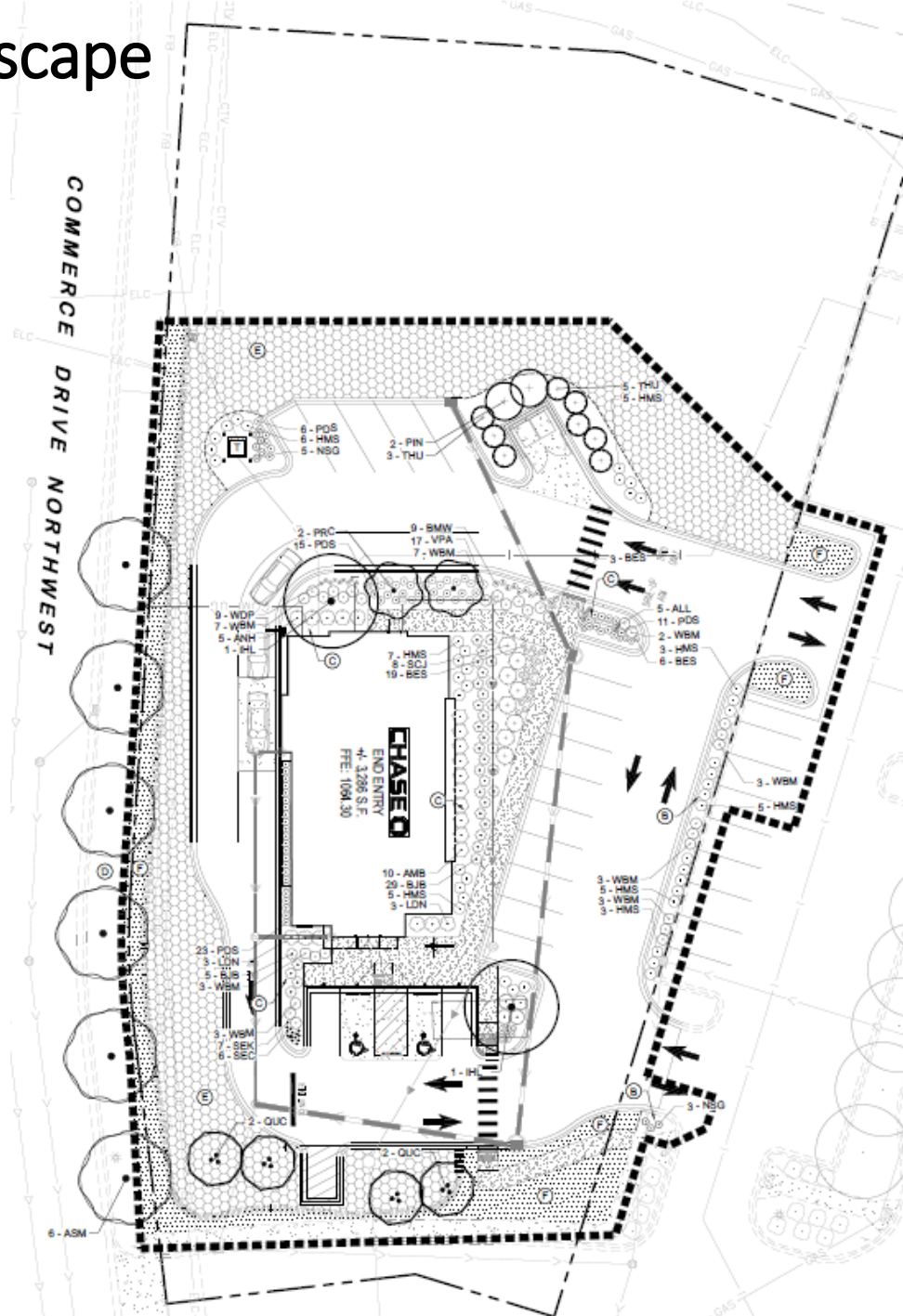
Site Plan

PROPERTY SUMMARY	
TOTAL PROPERTY AREA	1.19 AC / 52,029 SF
DISTURBED AREA	0.81 AC / 35,115 SF
EXISTING IMPERVIOUS AREA	0.04 AC / 1,496 SF / 4.3%
EXISTING PERVIOUS AREA	0.77 AC / 33,619 SF / 95.7%
OUTLOT A DESIGNED IMPERVIOUS AREA	85%
PROPOSED IMPERVIOUS AREA	0.52 AC / 22,592 SF / 64.3%
PROPOSED PERVIOUS AREA	0.29 AC / 12,523 SF / 35.7%
NET DECREASE IN DESIGNED IMPERVIOUS AREA	20.7%
SITE DATA	
EXISTING ZONING	LI- LIGHT INDUSTRIAL
PROPOSED LAND USE	FINANCIAL INSTITUTION
PARKING SETBACKS	SIDE/REAR = 0' RIGHT OF WAY = 10'
BUILDING SETBACKS	FRONT = 25' STREET SIDE = 12' INTERIOR SIDE = 0' REAR = 10'

BUILDING DATA	
TOTAL BUILDING AREA	3,286 SF
PERCENT OF TOTAL PROPERTY AREA	6.3%
PARKING SUMMARY	
REQUIRED PARKING	MIN: 5 SPACES @ 1/600 SF MAX: 11 SPACES @ 1/300 SF
TOTAL PROPOSED PARKING	19 SPACES
REQUIRED ACCESSIBLE PARKING	1 STANDARD SPACE 1 VAN ACCESSIBLE
PROPOSED ACCESSIBLE PARKING	2 VAN ACCESSIBLE
REQUIRED DRIVE-THROUGH STACK	3 SPACES



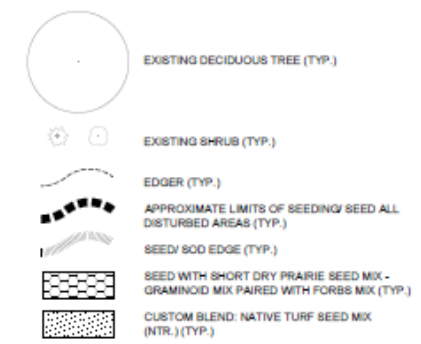
Landscape Plan



PLANT SCHEDULE

<u>SYMBOL</u>	<u>CODE</u>	<u>QTY</u>	<u>COMMON NAME</u>	<u>BOTANICAL NAME</u>	<u>N/A</u>	<u>CAL</u>
<u>OVERSTORY TREES</u>						
	ASM	8	SUGAR MAPLE	ACER SACCHARUM	B & B	2.5" CAL.
	IHL	2	IMPERIAL HONEYLOCUST	GLEDTISIA TRIACANTHOS VAR. INERMIS 'IMPERIAL'	B & B	2.5" CAL.
<u>CONIFEROUS TREE</u>						
	PIN	2	JACK PINE	PINUS BANKSIANA	B & B	9 HT.
	THU	8	TECHNY ARBORVITAE	THUJA OCCIDENTALIS 'TECHNY'	B & B	5' HT.
<u>ORNAMENTAL TREE</u>						
	PRC	2	PRAIRIE ROSE CRABAPPLE	MALUS IOENSIS 'PRAIRIE ROSE'	B & B	1.5" CAL.
	QUC	4	QUAKING ASPEN CLUMP	POPULUS TREMULOIDES	B & B	6' HT.
<u>SYMBOL</u>	<u>CODE</u>	<u>QTY</u>	<u>COMMON NAME</u>	<u>BOTANICAL NAME</u>	<u>CONTAINER</u>	<u>SPACING</u>
<u>CONIFEROUS SHRUBS</u>						
	SCJ	8	SCANDIA JUNIPER	JUNIPERUS SABINA 'SCANDIA'	#6 CONT.	5' O.C.
	WBM	31	MUGO WHITE BUD PINE	PINUS MUGO 'WHITE BUD'	#6 CONT.	3' O.C.
<u>DECIDUOUS SHRUBS</u>						
	AMB	10	IROQUOIS BEAUTY BLACK CHOKEBERRY	ARONIA MELANOCARPA 'IROQUOIS BEAUTY' TM	#6 CONT.	4' O.C.
	ANH	5	ANNABELLE HYDRANGEA	HYDRANGEA ARBORESCENS 'ANNABELLE'	#6 CONT.	4' O.C.
	GLS	4	GRO-LOW FRAGRANT SUMAC	RHUS AROMATICA 'GRO-LOW'	#6 CONT.	4' O.C.
	LDN	6	LITTLE DEVIL NINEBARK	PHYSOCARPUS OPULIFOLIUS 'DONNA MAY' TM	#6 CONT.	4' O.C.
<u>ORNAMENTAL GRASSES</u>						
	HMS	42	HEAVY METAL SWITCHGRASS	PANICUM VIRGATUM 'HEAVY METAL'	#1 CONT.	3' O.C.
	NSG	8	NORTHWIND SWITCH GRASS	PANICUM VIRGATUM 'NORTHWIND'	#1 CONT.	24" O.C.
	POS	55	PRAIRIE DROPSPEED	SPOROBOLUS HETEROLEPIS	#1 CONT.	18" O.C.
<u>PERENNIALS</u>						
	ALL	5	MILLENNIUM ORNAMENTAL ONION	ALLIUM X 'MILLENNIUM'	#1 CONT.	1.5' O.C.
	BEB	36	BLACK-EYED SUSAN	RUDBECKIA FULGIDA 'GOLDSTURM'	#1 CONT.	18" O.C.
	BJB	34	BLUE JEAN BABY RUSSIAN SAGE	PEROVSKIA ATRIPICIFOLIA 'BLUE JEAN BABY'	#1 CONT.	3' O.C.
	BMW	9	BUTTERFLY MILKWEED	ASCLEPIAS TUBEROSA	#1 CONT.	2' O.C.
	SEC	6	STONECROP	SEDUM CAUTICOLA	6 PK	18" O.C.
	SEK	7	ORANGE STONECROP	SEDUM KAMTSCHATICUM	6 PK	18" O.C.
	VPA	17	VISION IN PINK CHINESE ASTILBE	ASTILBE CHINENSIS 'VISION IN PINK'	#1 CONT.	24" O.C.
	WDP	9	WOODLAND PHLOX	PHLOX DIVARICATA	#1 CONT.	18" O.C.

LANDSCAPE LEGEND

LANDSCAPE KEYNOTES

- (A) EDGER (TYP.)
- (B) HARDWOOD MULCH, MATCH EXISTING (TYP.)
- (C) ROCK MULCH (TYP.)
- (D) DISTURBANCE IN PUBLIC R.O.W. SEED WITH MNDOT SOUTHERN BOULEVARD SEED MIX (TYP.)
- (E) SEED WITH SHORT DRY PRAIRIE SEED MIX - GRAMINOID MIX PAIRED WITH FORBS MIX (TYP.)
- (F) SEED WITH CUSTOM BLEND : NATIVE TURF SEED MIX (NTR.) (TYP.)

LANDSCAPE SUMMARY

BOULEVARD TREE REQUIREMENTS

TREES REQUIRED: 6 TREES = 193 L.F. / 35
TREES PROVIDED: 6 TREES

PARKING LOT INTERIOR LANDSCAPE REQUIREMENTS

LANDSCAPE AREA REQUIRED: 600 S.F. = 5,002 S.F. OF PARKING * .12
LANDSCAPE AREA PROVIDED: 812 S.F.

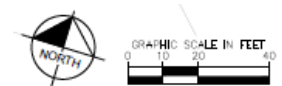
TREES REQUIRED: 2 TREES = 600 S.F. / 400
TREES PROVIDED: 24 TREES = 10 CONIFEROUS +
14 DECIDUOUS

SHRUBS REQUIRED: 5 SHRUBS = $(600 \times 3) / 400$
SHRUBS PROVIDED: 64 SHRUBS = 39 CONIFEROUS +
25 DECIDUOUS

CUSTOM BLEND: NATIVE TURF SEED MIX

75% BUFFALOGRASS
25% BLUE GRAMA

SEEDING RATE: 2-3 LBS. PER 1000 SQ. FT.



Building Elevation

The design intent of the proposed Chase Bank is to complement the surrounding architecture of the area. Modern finishes and long-lasting cladding materials will mesh well with the development's growth of the area.

The proposed Banking Center will be comprised of the following materials:

- Hewn Stone in color Limestone
- Fiber cement with a “wood” look in color “Ash” and “Bark”
- ACM in color “DG Silver”
- Black canopies above main entrance and drive-up ATM
- Black sunshades
- Black anodized storefront system with clear glazing

Building Elevation



STORE FRONT
COLOR: BLACK ANODIZED ALUM.



ACM PANELS
COLOR: SILVERSMITH ARCONIC



CAST STONE
COLOR: FOUNDATION - HEWN STON
WESTLAKE ROYAL STONE



METAL CANOPY & SUNSHADES
COLOR: BLACK ANODIZED ALUM.



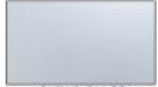
FIBER CEMENT
COLOR: ASH NICHIPPA



FIBER CEMENT
COLOR: BARK NICHIPPA



COLUMN
COLOR: CLOUD WHITE



CLEAR GLASS



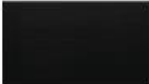
SCREENING PAINT
COLOR: ACCESSIBLE BEIGE
SW 7036
SHERWIN WILLIAMS



SCALE: $\frac{1}{8}" = 1'$

Building Elevation



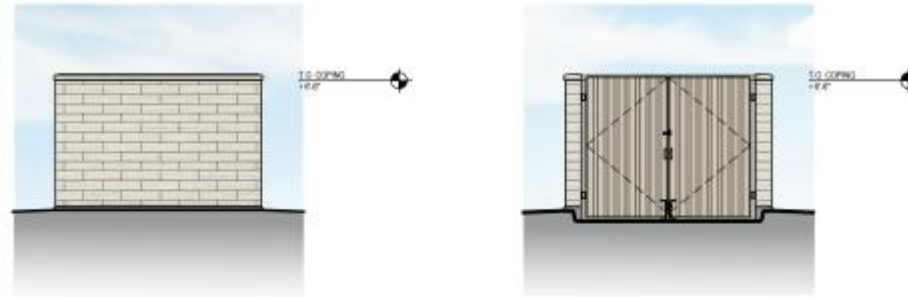
 STORE FRONT COLOR: BLACK ANODIZED ALUM.	 ACM PANELS COLOR: SILVERSMITH ARCONIC	 CAST STONE COLOR: FOUNDATION - HEWN STON WESTLAKE ROYAL STONE
 METAL CANOPY & SUNSHADES COLOR: BLACK ANODIZED ALUM.	 FIBER CEMENT COLOR: ASH NICHHA	 FIBER CEMENT COLOR: BARK NICHHA
 METAL COPING CAP COLOR: BLACK	 CLEAR GLASS	 SCREENING PAINT COLOR: ACCESSIBLE BEIGE SW 7036 SHERWIN WILLIAMS



SCALE: $\frac{3}{4}" = 1'$



Building Elevation



TRASH ENCLOSURE



CAST STONE
COLOR: FOUNDATION - HEWN STONE
WESTLAKE ROYAL STONE

CALCULATIONS SUMMARY									
Label	Units	Avg	Min	Max	Avg/Min	Max/Min	D-Ratio (p=0.05)		
24HR ENTRY SD*	FC	24.08	81.3	3.0	8.29	27.77	FC TAKEN 10"	FROM ENTRY & 3'-0"	APC
24HR ENTRY SD*	FC	6.80	55.0	1.8	2.67	27.78	FC TAKEN 50"	FROM ENTRY & 3'-0"	APC
ATM 5"	FC	73.29	130.1	18.8	3.70	6.57	FC TAKEN 5"	FROM ATM & 3'-0"	APC
ATM 50"	FC	4.72	74.4	1.0	4.72	74.40	FC TAKEN 50"	FROM ATM & 3'-0"	APC
FROSTFEE LINE	FC	0.45	2.4	0.0	N.A.	N.A.	FC TAKEN & GRADE		
RTN	FC	1.40	35.1	0.0	N.A.	N.A.	FC TAKEN & GRADE		
SPAC PLACEMENT	FC	2.94	24.1	0.1	5.92	65.20	FC TAKEN & GRADE		

Traffic Impacts

Trip generation was based on data contained within the ITE Trip Generation Manual, 11th Edition and was estimated by using the GFA as the independent variable for the proposed LUC 912. Table 1 shows the ITE-projected trip generation for the proposed facility.

Table 1. Peak Parking Demand

Parking Use	Parking Count
Employee	8
Customer	11
Total	19

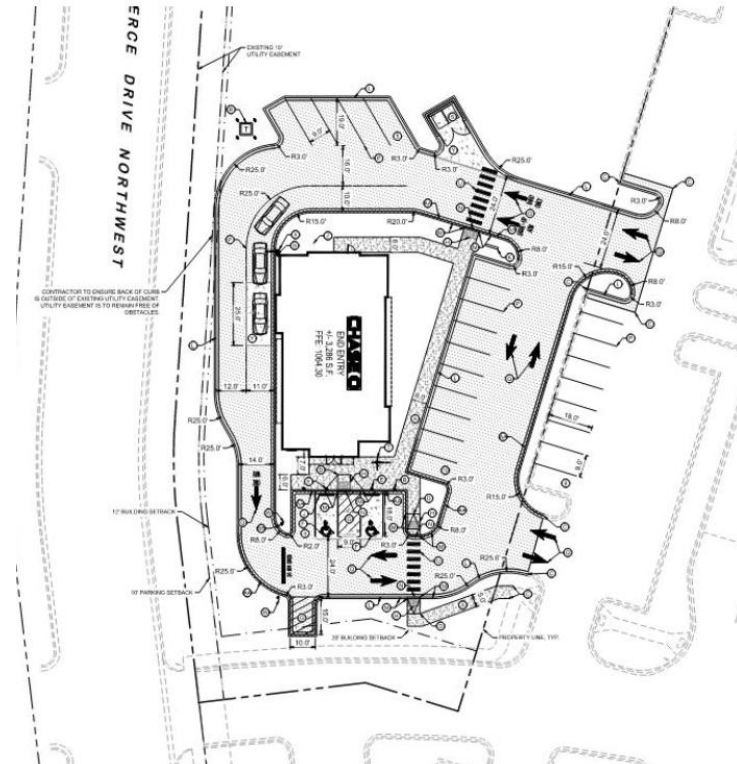
Table 2. Generated Traffic Projections – Drive-in Bank

Land Use		Size	Daily	Weekday						Saturday		
				AM Peak Hour			PM Peak Hour			Midday Peak Hour		
				In	Out	Total	In	Out	Total	In	Out	Total
Proposed Chase Bank	LUC 912	3,319 SF	335	20	15	35	35	35	70	45	45	90

EXISTING



PROPOSED



Q&A

Still have Questions?

Contact the City of Rochester's Community Development Department with any questions about this application type via email communitydevelopment@rochestermn.gov or phone (507-328-2600).