

Elcor Construction – New Office Building

Presentation by Mark Welch / G-Cubed Inc. on behalf of Elcor Construction.

07/29/2025 – 5:00 PM

Location: Elcor Construction

123 Carlton St SW

Rochester, MN 55902

Overview

- Introductions
- About our Project
- The Application Process
- Exhibits:
 - Site Plan
 - Building Elevation
 - Photometric Plan – To be added when complete
- Traffic Impacts
- Q&A

Introduction

Mark Welch – P.E., G-Cubed Engineering

- Senior Vice President – Civil Division Chief

Cory Penz – Elcor Construction, Inc

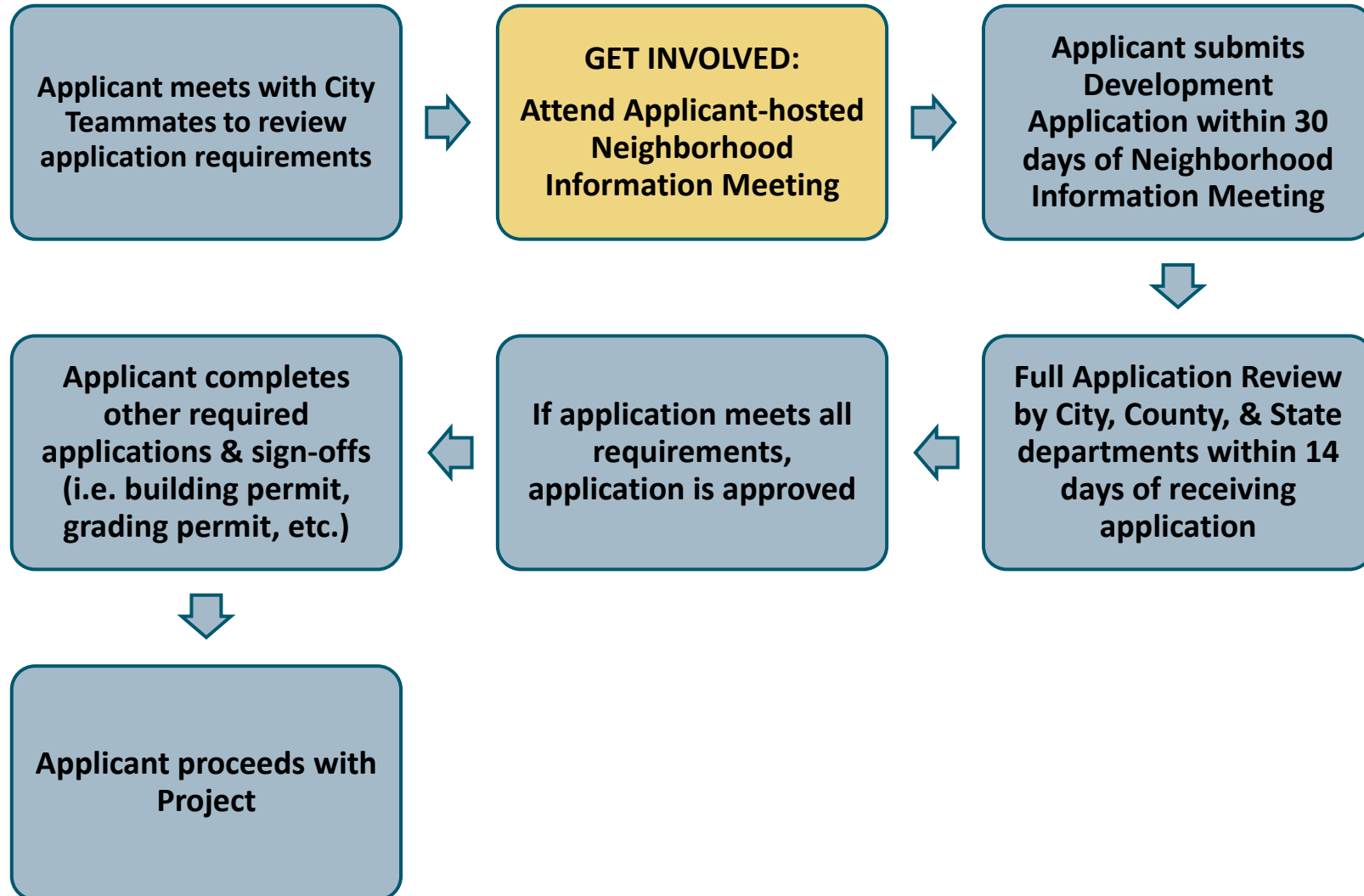
- President

About our Project

Location: 123 Carlton Street SW. North of Cemstone Supply at the northwest end of Carlton St SW.

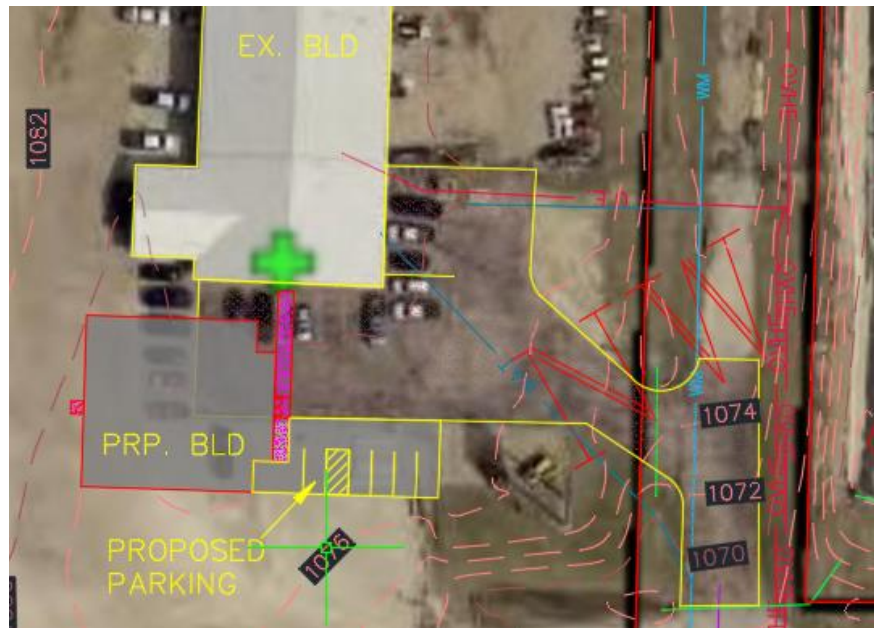
Proposal: The construction of a new Elcor Construction Office building and associated parking. The existing office space will be remodeled for training and supervisor offices.

The Application Process

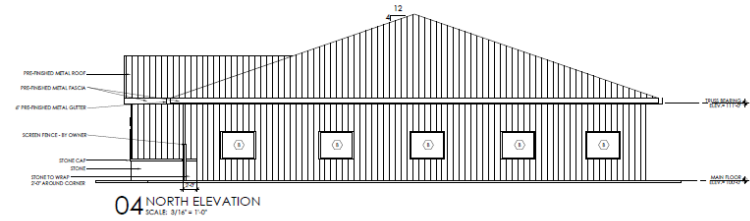
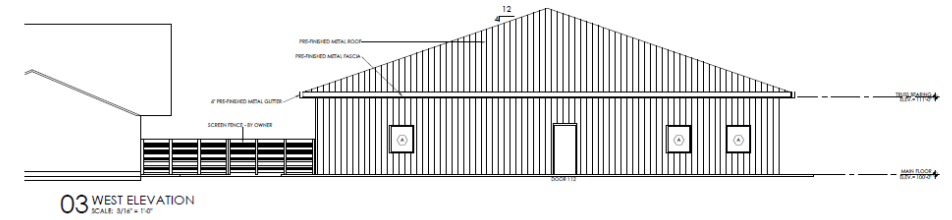
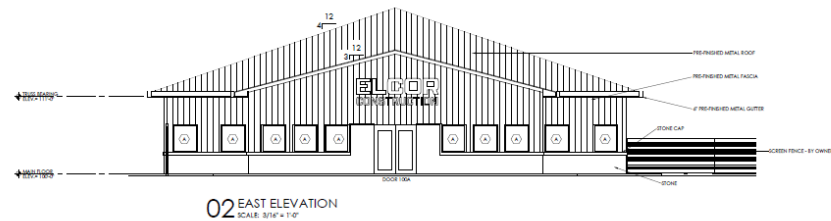
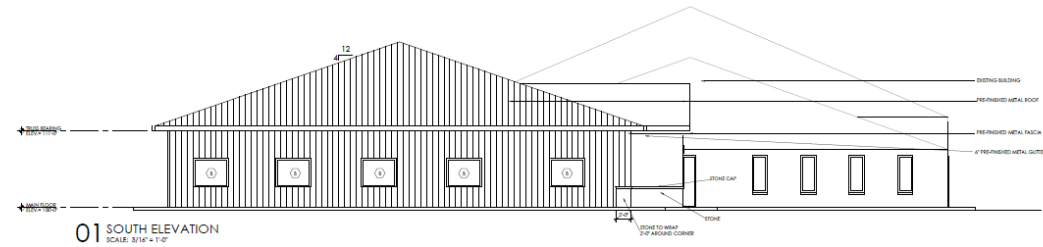


Site Plan

Zoned: LI – Light Industrial



Building Elevation



Photometric Plan

To be updated when completed.

Traffic Impacts

The proposed site for the Elcor Construction Office is being considered under land use 712 (Small office building). The proposed building is 4,671 sq ft. According to the Trip Generation Manual 10th Edition, for land use 712 there is an average rate of 16.19 daily trips per 1,000 sq ft. Based on this criteria, there will be an average increase in daily trips of about 76 trips. This value is well below the 750 minimum required for a Traffic Impact Analysis. Also, it is believed that the impact to traffic in the area will not be significant, and therefor it is being requested that the site be exempt from / Waived of TIS.

Q&A

Still have Questions?

Contact the City of Rochester's Community Development Department with any questions about this application type via email communitydevelopment@rochestermn.gov or phone (507-328-2600).