

Broadway Ave N Park & Ride

- City of Rochester
- September 11, 2025
- 5:00 PM



Overview

- Introductions
- About our Project
- The Application Process
- Exhibits:
 - Site Plan
 - Landscape Plan
 - Building Elevation
 - Photometric Plan
- Traffic Impacts
- Q&A

Introduction

- City of Rochester
- Neumann Monson
- SEH

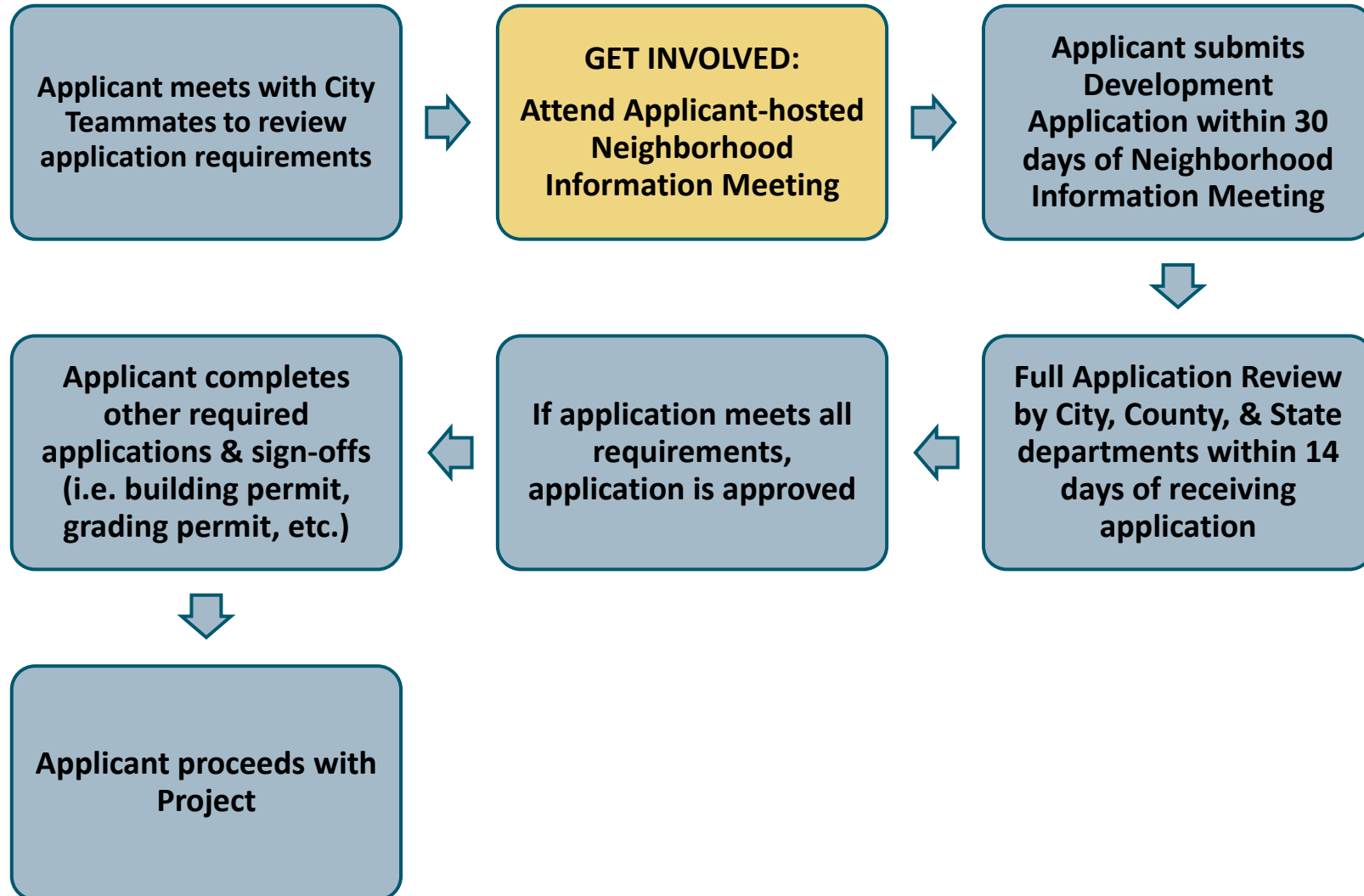
NEUMANN
MONSON
ARCHITECTS



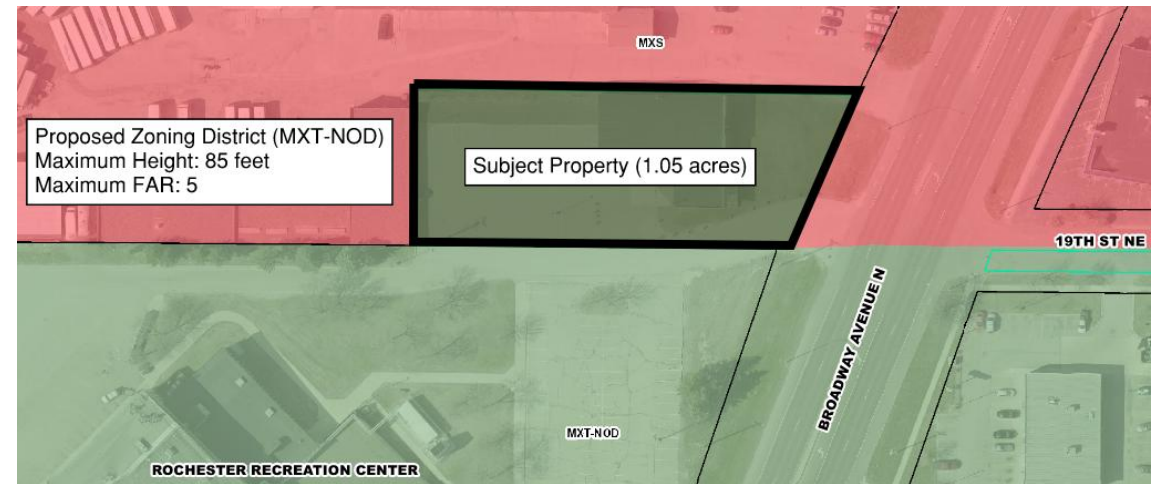
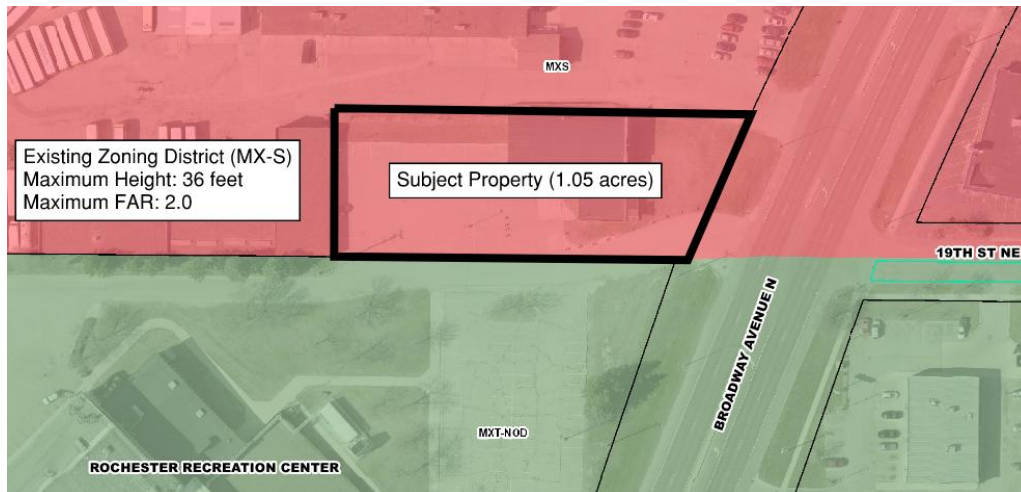
About our Project

- Demolition of Existing Building
- Three-Level (2 Above, 1 Lower) Park and Ride Structure
- Improvements to Existing South Lot
- Shared Use Bike and Pedestrian Path
- Improvements at intersection with 19th St NE
- Stormwater Pond and Treatment Features
- Includes a Minor Land Subdivision to combine lots
- Includes rezoning from MX-S to MXT-NOD (same as Recreation Center Parcel)

The Application Process

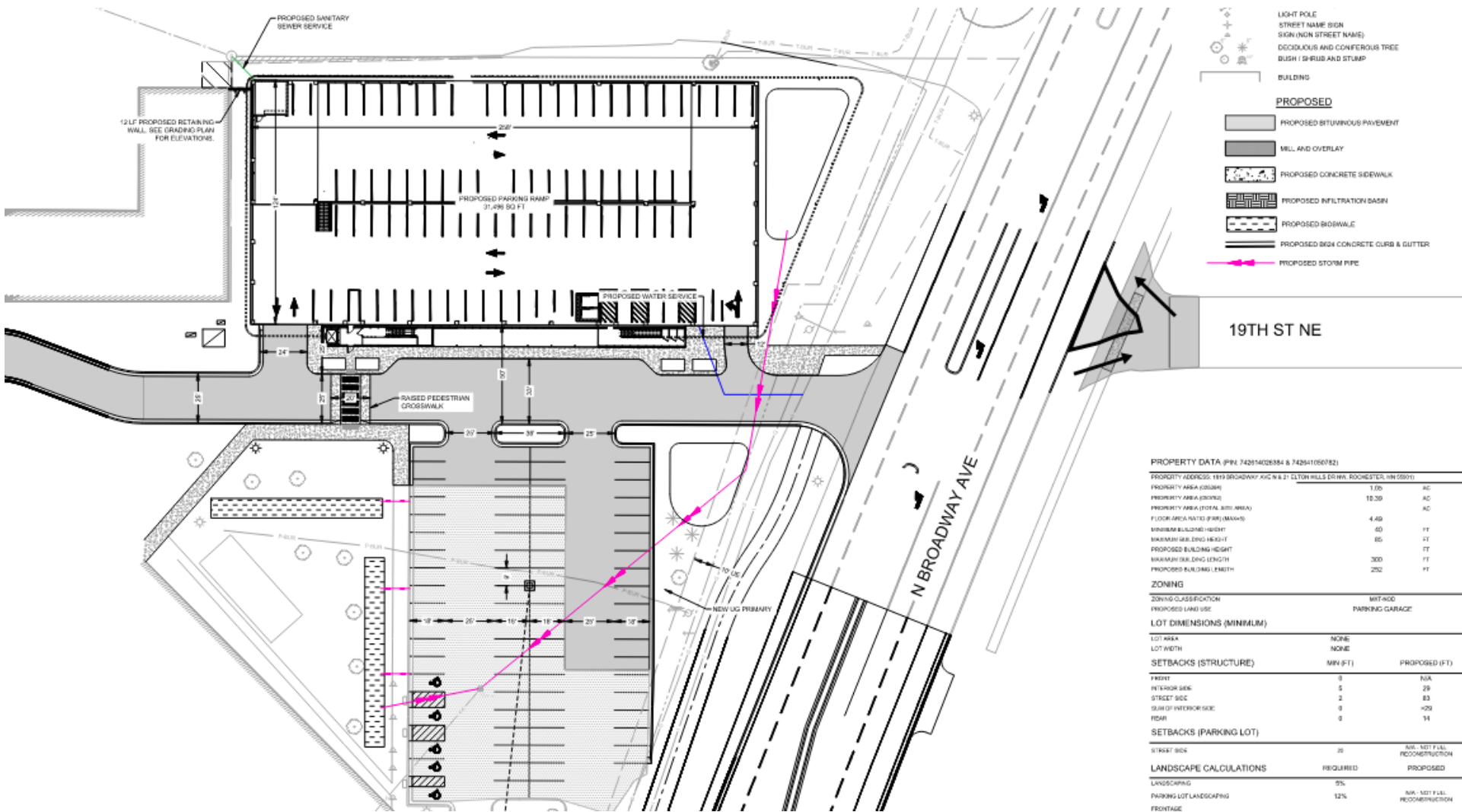


Combining Lots and Zoning Information



- Through the Minor Land Subdivision (Combining Lots), the smaller lot (subject site) will take on the zoning of the larger site (rec center). New zoning allows for parking ramp structure

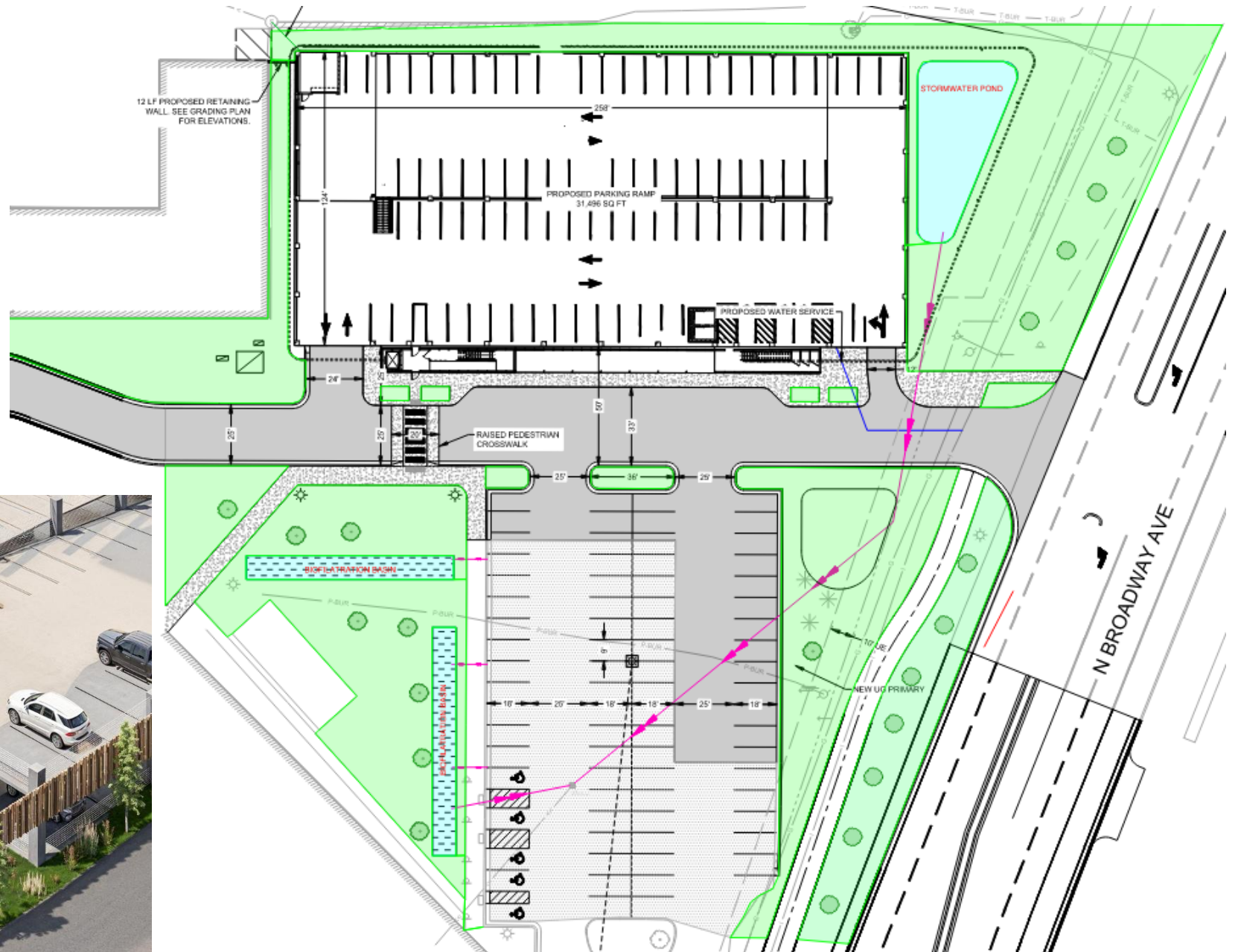
Site Plan



Site Plan

- Height
 - ~25 feet proposed (85' allowed maximum)
- Setbacks
 - Front – N/A (0' Min)
 - Interior Side – 29' (5' Min)
 - Street Side – 83' (2' Min)
 - Sum of Interior – 29' (0' Min)
 - Rear – 14' (0' Min)
- Floor Area Ratio (FAR)
 - 4.49 (5.00 Max)
- Parking
 - No Requirements
 - 202 Park & Ride
 - 7 Accessible Stalls (7 Required)
 - 76 South Lot
 - 5 Accessible Stalls (4 Required)
 - Bicycle
 - 20 Proposed (10 Required)

Landscape Plan

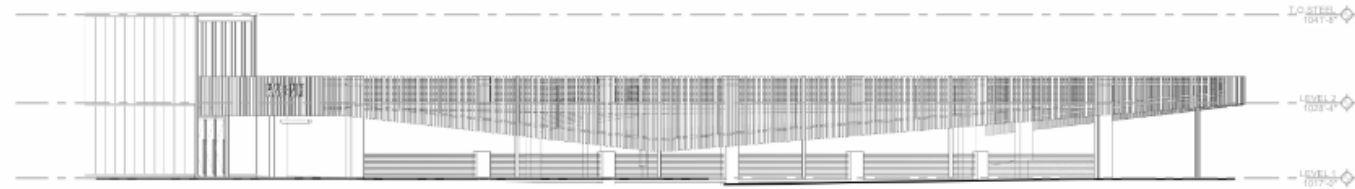


Landscape Plan

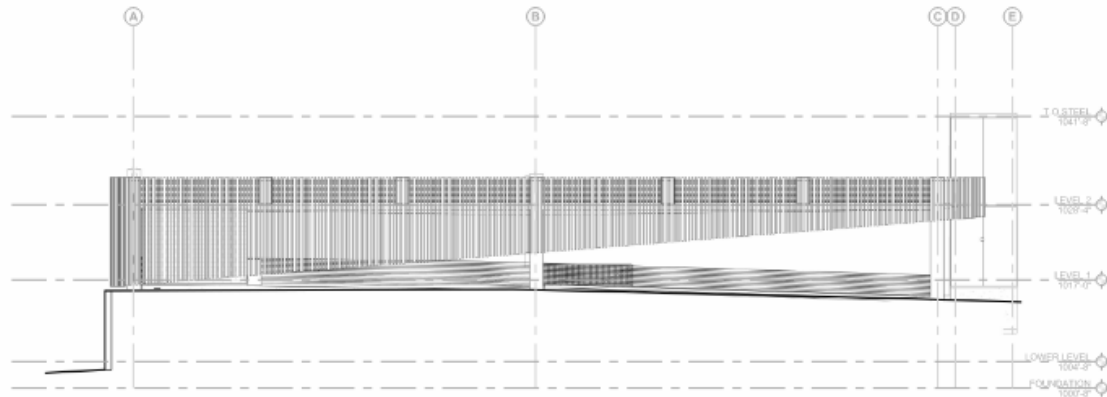
- Base plantings
 - Native with the Region
- Buffer yards
 - No Requirement
- Landscaping
 - 5% Minimum
- Street Trees
 - 11 Trees (11 Required)



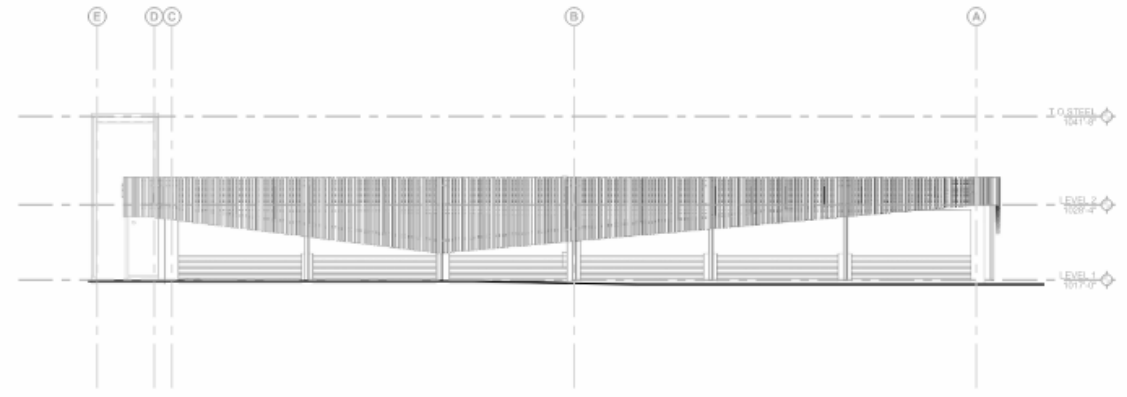
- Top of Steel: 1041'-8"
- Level 2: 1028'-4"
- Level 1: 1017'-0"
- Lower Level: 1014'-8"
- Foundation: 1000'-8"



E4 SOUTHEAST ELEVATION
3/32" = 1'-0"

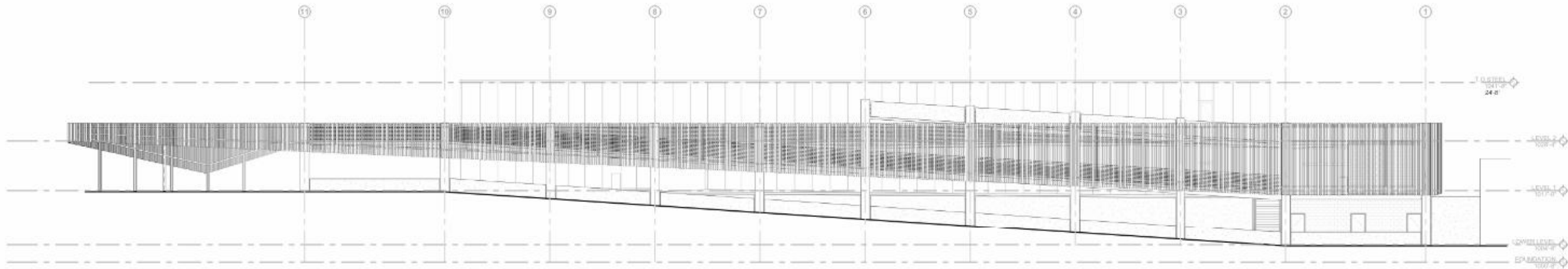


D1 WEST ELEVATION
3/32" = 1'-0"

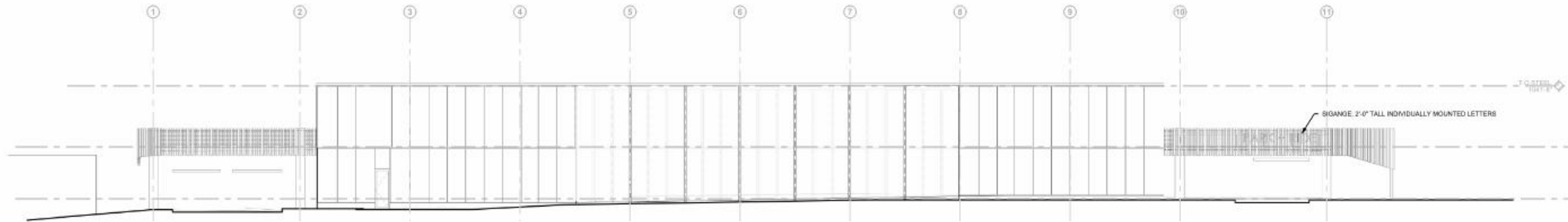


D4 EAST ELEVATION
3/32" = 1'-0"

Building Elevation



B1 NORTH ELEVATION
3/32" = 1'-0"



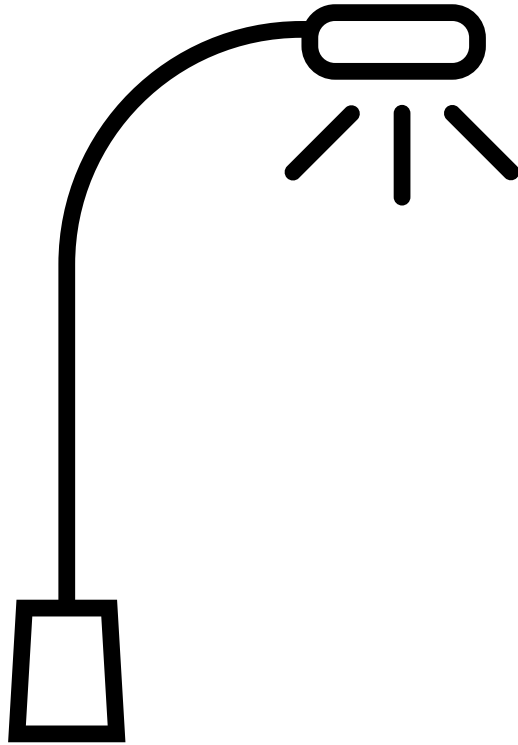
- Top of Steel: 1041'-8"
- Level 2: 1028'-4"
- Level 1: 1017'-0"
- Lower Level: 1014'-8"
- Foundation: 1000'-8"

Building Elevation



Building Elevation

- Length
 - 252' (300' Max)
- Height
 - ~25' (85' Max)



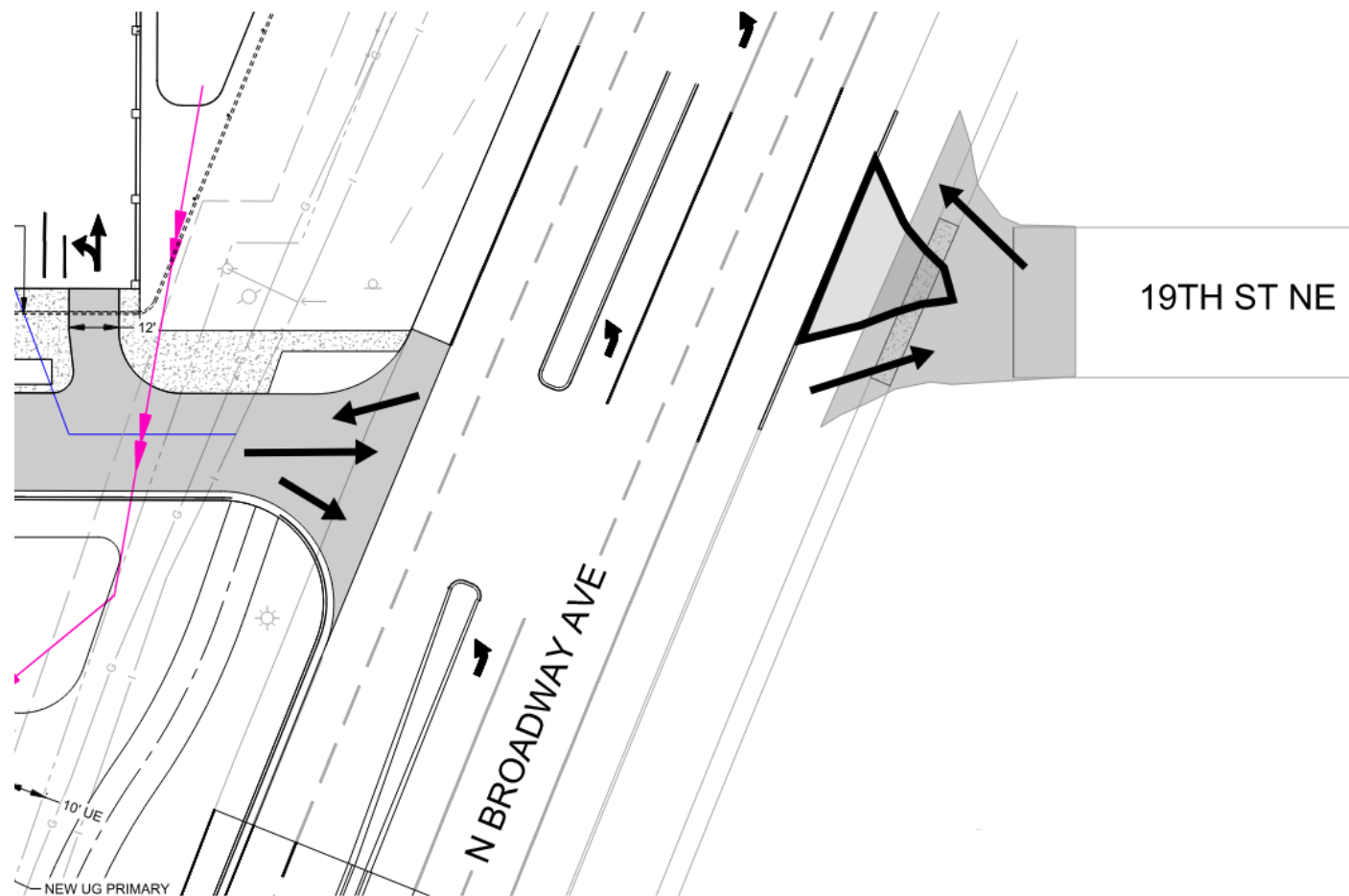
Photometric Plan

- Lighting to meet the requirements to the City of Rochester. Lighting planned to be prevalent throughout the park and ride facility
- South parking lot will have lighting upgrades
- Photometric Plan to be submitted at time of submittal as required.

Traffic Impacts

Details on Preliminary Trip Generation Analysis/how much additional traffic could be generated.

- Final Traffic Report is in review with the City Traffic Engineer.
- Existing Entrance to Recreation Center is shifting to the south.
 - Left in, right in, left out, right out turn lanes.
- Improvements planned at the intersection with 19th Street
 - Right in and right out only to mitigate potential incidents with new Park & Ride entrance (offset intersection)



Traffic Impacts

Traffic Impacts



Driveway from Broadway Ave N

Generates 1,020 trips per day

After construction, it will generate an additional 648 trips



Preliminary Analysis notes that no upgrades to traffic signal on Elton Hills are warranted with increase in trips.



19th St NE to have a “porkchop” median with right in and right out only on to Broadway Ave N.

Existing left turn traffic onto Broadway will now be routed to 17th ST NE or 3rd Ave NE



Q&A

Still have
Questions?

Contact the City of Rochester's Community Development Department with any questions about this application type via email communitydevelopment@rochestermn.gov or phone (507-328-2600).