

Taco Bell

Marvin Development V, LLC

September 23, 2025

NOTE: Use this PowerPoint as an example of what should be included in a Neighborhood Information Meeting (NIM) presentation for Site Development Plans (SDPs).

Version: 23.001

Overview

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Introduction

Marvin Development V, LLC

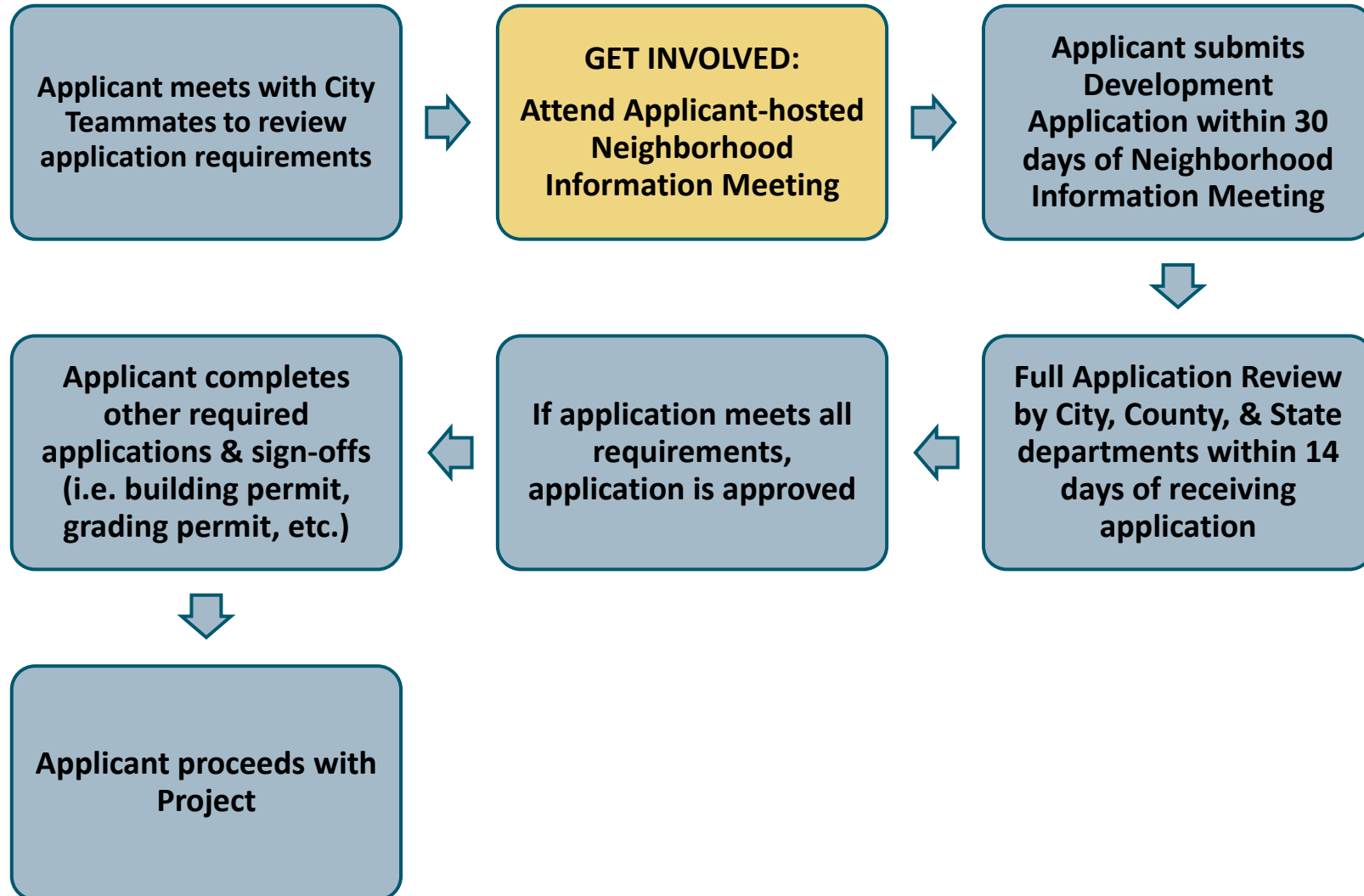
Architect: Finn Daniels Architects

Civil Engineer: Élan Design Lab, Inc

About our Project

New Taco Bell fast food restaurant with drive-thru and interior dining service.

The Application Process



Site Plan

Description (including height, setbacks, Floor Area Ratio (FAR), and parking).

Height: 23'-6 1/2" (Arch)

Setbacks:

Front: 25'

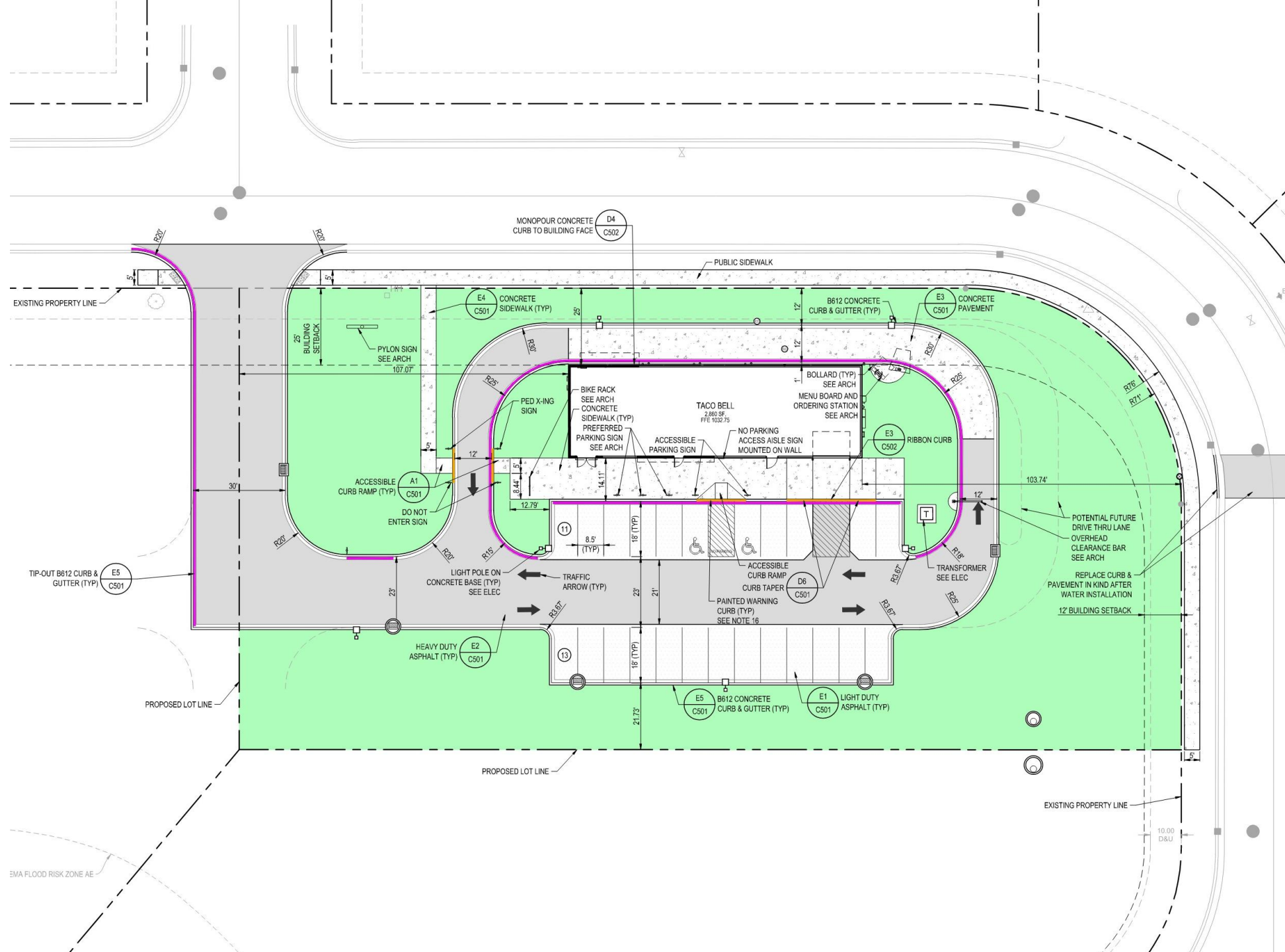
Street Side: 12'

Interior Side: NA

Rear: 10'

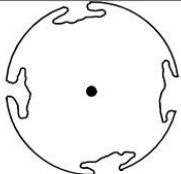
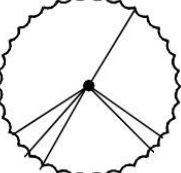
Floor Area Ratio: 0.06

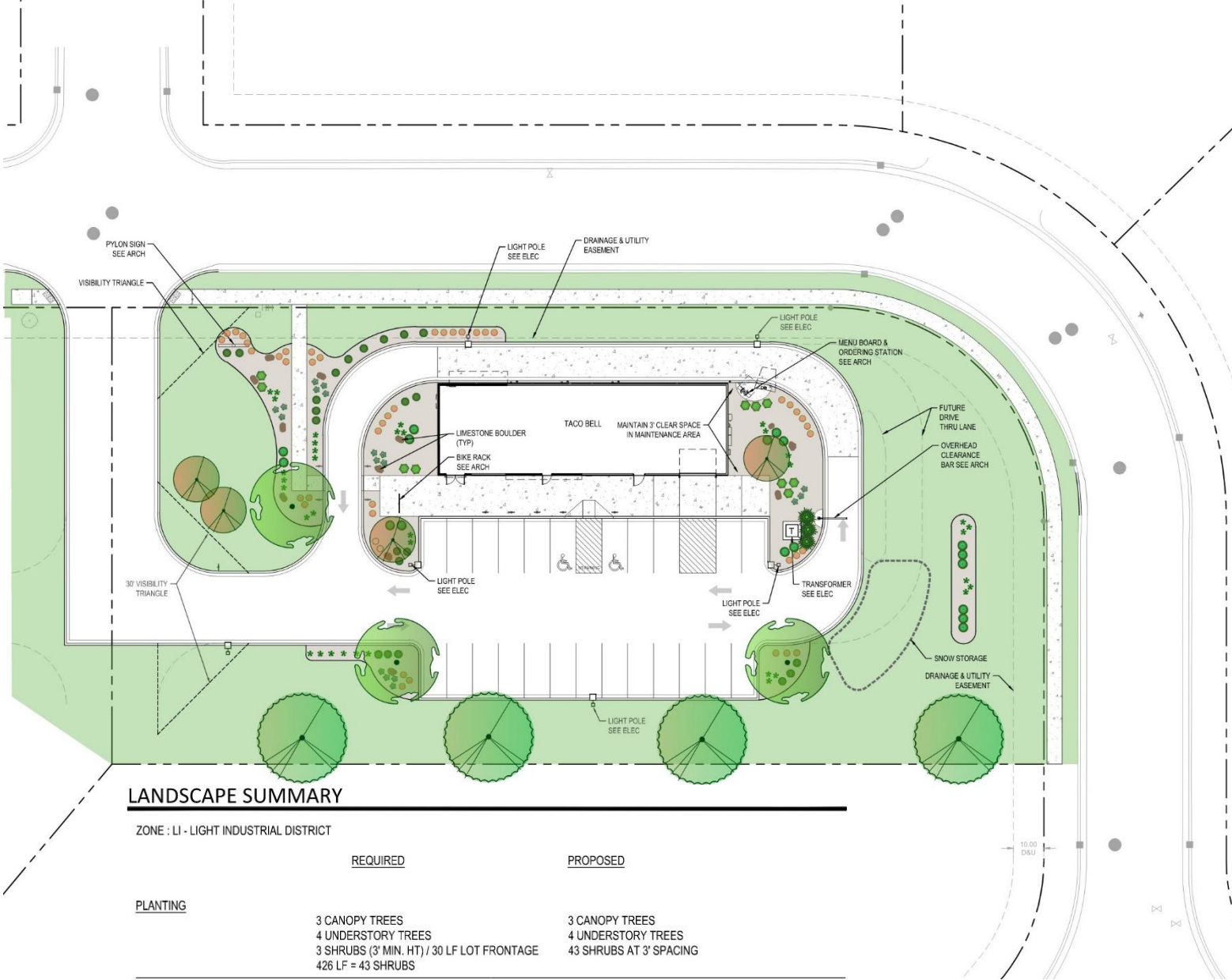
Parking: 24 stalls (14 min, 29 max)



Landscape Plan

PLANT SCHEDULE

KEY	QUANT.	COMMON NAME	SCIENTIFIC NAME	SIZE	ROOT COND.	MATURE SIZE
DECIDUOUS TREES						
	3	AUTUMN BLAZE MAPLE	ACER X FREEMANII 'JEFFERSRED'	2.5" CAL.	B&B	45'H X 35'W
	4	SWAMP WHITE OAK	QUERCUS BICOLOR	2.5" CAL.	B&B	50'H X 40'W
ORNAMENTAL TREES						
	4	SPRING SNOW CRABAPPLE	MALUS 'SPRING SNOW'	1.5" CAL.	B&B	20'H X 15'W
SHRUBS						
	3	PYRAMIDAL ARBORVITAE	THUJA OCCIDENTALIS 'PYRAMIDALS'	6' HT.	POT	20'H X 6'W
	17	LITTLE LIME HYDRANGEA	HYDRANGEA PANICULATA 'JANE'	15" HT.	POT	3'H X 3'W
	10	LITTLE DEVIL NINEBARK	PHYSOCARPUS OPULIFOLIUS 'LITTLE DEVIL'	15" HT.	POT	3'H X 3'W
	22	LITTLE PRINCESS SPIREA	SPIRAEA JAPONICA 'LITTLE PRINCESS'	15" HT.	POT	2.5'H X 2.5'W
PERENNIALS						
	35	KARL FOERSTER FEATHER REED GRASS	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	1 GAL	POT	3'H X 2'W
	18	PURPLE CONEFLOWER 'POWWOW WILD BERRY'	ECHINACEA PURPUREA	1 GAL	POT	2'H X 2'W
	45	RUBY STELLA DAYLILY	HEMEROCALLIS 'RUBY STELLA'	1 GAL	POT	1.5'H X 1.5'W



LANDSCAPE SUMMARY

ZONE : LI - LIGHT INDUSTRIAL DISTRICT

	REQUIRED	PROPOSED
PLANTING	3 CANOPY TREES 4 UNDERSTORY TREES 3 SHRUBS (3' MIN. HT) / 30 LF LOT FRONTAGE 426 LF = 43 SHRUBS	3 CANOPY TREES 4 UNDERSTORY TREES 43 SHRUBS AT 3' SPACING
PARKING LOT ISLAND	MIN. 12% OF INTERNAL PARKING 8' WIDE MIN., 50 SF MIN. 1 TREE / 400 SF = 3 TREES 3 SHRUBS / 400 SF = 9 SHRUBS	9,105 SF INTERNAL PARKING, 1,195 SF ISLAND, 13% 17' WIDE MIN., 247 SF MIN. 3 TREES 9 SHRUBS
BUFFERYARD	NONE	NONE

Building Elevation

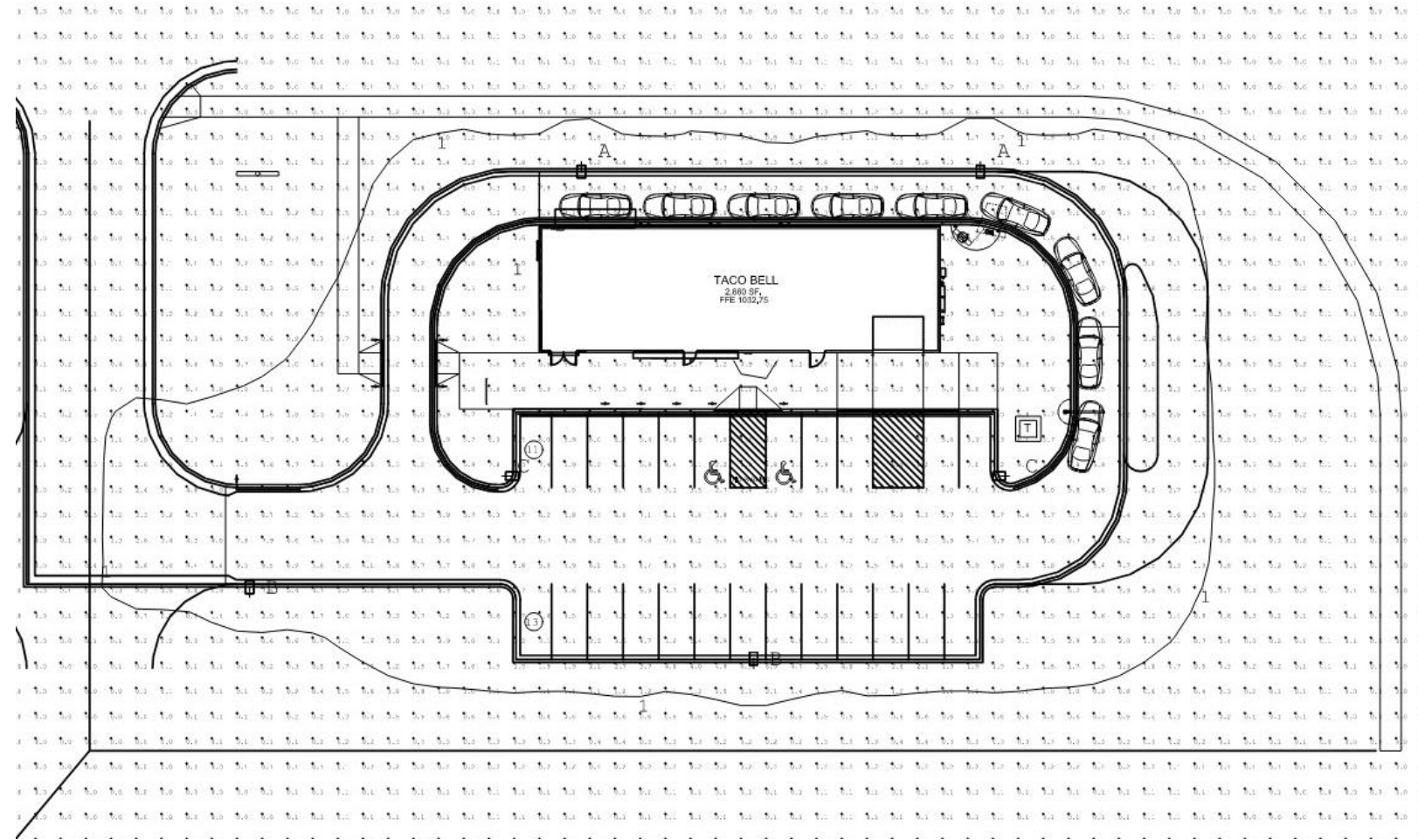
Overall building approximate dimensions of 30'W. x 95.25'L. featuring:

- Full building height corner aluminum/glass storefront system accented by entrance door archway
- Typical wall finishes of PAC-CLAD box rib architectural prefinished metal wall panels and James Hardie Artisan Square Channel siding
- Canopy/Awning over side windows
- Sign with decorative ladder archway at end of building
- Artwork & Expression Panels spaced around building perimeter.



Photometric Plan

- Site lighting poles mounted on concrete pole bases with total height not to exceed 18' AFG
- LED 4000K light fixtures
- Average illumination throughout parking lot of 5.51 foot-candles
- Light levels at property line extents compliant with city code requirements.



Traffic Impacts

Traffic generated from Taco Bell is less than the estimated PM Peak Hour Trips in the Creekside Development Traffic Study for the equivalent sized building (49 In and 46 Out).

Table 1: ITE Trip Generation (11th Edition)

ITE Trip Generation (11th Edition)														
ITE Code	Land Use	Units	AM Anticipated Value	AM Peak Hour Trips			PM Peak Hour Trips			Weekday Daily Trips				
				Total	% In	% Out	Total	% In	% Out	Total	% In	% Out		
934	Fast-Food Restaurant with Drive-Through Window	1,000 SF	2.87	44.61	51%	49%	33.03	52%	48%	467.48	50%	50%		
		Gross Floor Area		128	65	63	95	49	46	1,342	671	671		
		Total Driveway Trips for ITE Code			128	65	63	95	49	46	1,342	671	671	
		Pass-By Trips 50% 55%			-65	-33	-32	-52	-27	-25	-672	-336	-336	
		Total New Network Trips for ITE Code			63	32	31	43	22	21	670	335	335	
Total Trips Generated														
Proposed Driveway Trips				128	65	63	95	49	46	1,342	671	671		

We expect lower volumes than this ITE Trip Generation based on our forecast metrics for this site.

Q&A

Still have Questions?

Contact the City of Rochester's Community Development Department with any questions about this application type via email communitydevelopment@rochestermn.gov or phone (507-328-2600).